

POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY

Meeting Date: April 19, 2016

Agenda Item 3

REQUESTED CRA BOARD ACTION:

Resolution(s) Consideration Approval Other

SHORT TITLE OR MOTION: A RESOLUTION OF THE POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY, APPROVING AND AUTHORIZING THE PROPER OFFICIALS TO EXECUTE A STRATEGIC INVESTMENT PROGRAM (SIP) GRANT AGREEMENT BETWEEN THE POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY AND BENAVALOLA, LLC RELATING TO THE PROPERTY LOCATED AT 2121 EAST ATLANTIC BOULEVARD (LA VERANDA); PROVIDING AN EFFECTIVE DATE.

Summary of Purpose and Why:

This item proposes to approve the Strategic Investment Program (SIP) application and grant agreement for BENAVALOLA, LLC, to enhance the interior and portions of the exterior of the property located at 2121 E. Atlantic Boulevard. BENAVALOCA owns the Italian restaurant, La Veranda, which operates at this location has been serving the Pompano Beach community for 40 years. The new business and property owner saw the potential for additional revenue in the unused second floor as soon as he acquired the property in July 2015. He is now ready to make improvements to the underutilized this space to include a stage, bar, restrooms, elevator, and private dining room as well as new signage. The owner thinks these improvements will enable him to attract corporate events to the restaurant so that visitors can see all that Pompano Beach has to offer. The estimated project cost of the second floor renovations is \$341,637 and staff recommends approval of the maximum grant award of \$50,000. The applicant expects the total cost of renovating restaurant including décor improvements to the first floor will be \$500,000-\$600,000. It is expected that improvements will illustrate a significant visual and economic impact to the East CRA district.

QUESTIONS TO BE ANSWERED BY ORIGINATING DEPARTMENT:

- (1) Origin of request for this action: Staff
- (2) Primary staff contact: Adriane Esteban Ext. 7841
- (3) Expiration of contract, if applicable: 4/19/2018
- (4) Fiscal impact and source of funding: \$50,000; Account 314-1960-539.83-42

DEPARTMENTAL COORDINATION	DATE	DEPARTMENTAL RECOMMENDATION	AUTHORIZED SIGNATURE OR ATTACHED MEMO NUMBER

- CRA Executive Director
- CRA Attorney
- Finance Director



 Claudia M. McKenna


ACTION PREVIOUSLY TAKEN BY CRA BOARD:

Resolution	Consideration	Other:
Results: _____	Results: _____	Results: _____



P. O. Drawer 1300
 Pompano Beach, FL 33061

Phone: (954) 786-5535
 Fax: (954) 786-7836

MEMORANDUM

Date: April 19, 2016

To: Pompano Beach CRA Board

From: Adriane Esteban, Project Manager

Subject: SIP Application & Agreement for La Veranda located at 2121 E. Atlantic Blvd.

I. Agenda Item

Strategic Investment Program (SIP) application from La Veranda, an Italian restaurant at 2121 East Atlantic Boulevard. Giuseppe La Tona is owner of the restaurant and property.

II. Recommendation

The total estimated cost of the interior renovations is \$341,637, however the owner estimates a total project cost of \$500,000-\$600,000 after first floor renovations are added. This incentive request is based on the known second floor interior renovation and signage costs for the property located at 2121 E. Atlantic Boulevard. Staff recommends approval of maximum award amount of \$50,000 from the CRA’s Strategic Investment Program (SIP).

<i>Name of Program</i>	<i>Total Project Cost of Improvements</i>	<i>Incentive Program Contribution</i>	<i>Private Contribution</i>	<i>Other Public Contribution</i>
Facade				
SIP	\$ 341,637	\$50,000	\$291,637	
SISP				
REDA				
Capital Improvement				
Merchant Assistance				
Mini Merchant Assistance				
Relocation				
TOTALS	\$ 341,637	\$50,000	\$291,637	



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III. Background

In September 2009, the CRA Board formally adopted the Strategic Finance Plan for the Pompano Beach East CRA district. The plan identified implementation priorities as an important component of the redevelopment strategy. As additional inducement for improvement of visual appearance of existing structures, the CRA created incentive programs specifically crafted to address the investment obstacles within the CRA district. As with any redevelopment program, the bulk of the public investment will be in the form of incentives in the beginning stages of the redevelopment program, leveling off as market conditions improve and fewer incentives are needed to attract private investment dollars.

The CRA has received an incentive program application from La Veranda, for the Strategic Investment Program (SIP) offered through the CRA for the property located at 2121 E. Atlantic Boulevard. The SIP is available for interior aesthetic improvements and tenant improvements to existing commercial buildings with restaurant or retail uses. La Veranda is an Italian restaurant that has been operating at this location for 40 years. Giuseppe LaTona purchased the building and restaurant in July 2015. Since taking over he has seen revenues increase and decided the second floor needs to be improved so it can be utilized. La Veranda is the fictitious name owned by Mr. La Tona's company BENAVALOLA, LLC.

The second floor of the restaurant is not currently open to the public, however the new owner sees the potential for additional revenues if the space is improved. The second floor renovations will include a brand new bar, stage area, private dining room, new restrooms and an elevator. There will also be new décor to give this new space an upscale feel of a 1930s speakeasy. The owner believes the buildout of the second floor will enable him to attract corporate event clients and additional revenue from weekend nighttime events. Although not included in the provided estimates, the owner plans to make improvements to the first floor as well that include a new Nanawall system to the interior courtyard, remodeled restrooms and updates to the décor. He estimates the first floor improvements will add another approximately \$200,000 to his project costs. Overall this renovation will greatly improve the character of this established restaurant. The owner has been working on getting this project in motion for a while and has already received his permit and commenced some of the construction activities. However, CRA staff has been made aware of the progress and recommends approval of this application. The East CRA voted unanimously in favor of recommending approval of this application as well.

RESOLUTION NO. _____

POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY

A RESOLUTION OF THE POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY APPROVING AND AUTHORIZING THE PROPER OFFICIALS TO EXECUTE A STRATEGIC INVESTMENT PROGRAM (SIP) GRANT AGREEMENT BETWEEN THE POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY AND BENAVALOLA, LLC, RELATING TO THE PROPERTY LOCATED AT 2121 EAST ATLANTIC BOULEVARD (LA VERANDA); PROVIDING AN EFFECTIVE DATE.

BE IT RESOLVED BY THE POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY THAT:

SECTION 1. The Strategic Investment Program (SIP) Grant Agreement between the Pompano Beach Community Redevelopment Agency and Benavalola LLC, relating to the property (La Veranda) located at 2121 East Atlantic Boulevard (the Agreement), a copy of which Agreement is attached hereto and incorporated by reference as if set forth in full, is hereby approved.

SECTION 2. The proper officials are hereby authorized to execute the Agreement, together with such other documents as may be required to effectuate the Agreement.

SECTION 3. This Resolution shall become effective upon passage.

PASSED AND ADOPTED this _____ day of April, 2016.

LAMAR FISHER, CHAIRPERSON

ATTEST:

MARGARET GALLAGHER, SECRETARY

**POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY
STRATEGIC INVESTMENT PROGRAM (SIP) GRANT AGREEMENT**

Contract No.: ECRA-SIP 1-16

THIS POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY STRATEGIC INVESTMENT PROGRAM GRANT AGREEMENT (the “Agreement”) is made and entered into this _____ of _____, 2016, by and between the POMPANO BEACH COMMUNITY REDEVELOPMENT AGENCY, a public body corporate and politic, under Part III, Chapter 163, Florida Statutes, 100 W. Atlantic Blvd., Room 276, POMPANO BEACH, FL 33060 (the “CRA”), and **BENAVALOLA LLC, a Florida limited liability company**, with an address **2121 East Atlantic Boulevard, Pompano Beach, Florida, 33062** (the “GRANTEE”).

WITNESSETH:

WHEREAS, the CRA undertakes activities for redevelopment and to remedy blight in the Community Redevelopment Areas of the City of POMPANO BEACH; and

WHEREAS, in furtherance of its goals, the CRA adopted redevelopment incentive programs to provide grants to eligible recipients; and

WHEREAS, the GRANTEE owns a business in the Pompano Beach Redevelopment Area, and has applied for a grant under the Strategic Investment Program (SIP); and

WHEREAS, the CRA wishes to enter into an Agreement with the GRANTEE to provide a grant for property improvement and to define the relationship between the parties.

NOW, THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, the value of which is hereby acknowledged by both parties, the parties agree as follows.

SECTION 1. RECITALS

The recitals set forth above are incorporated herein and made a part of this Agreement.

SECTION 2. THE PROPERTY

2.1 The Property is owned or leased by GRANTEE. The property is located at **2121 East Atlantic Boulevard, Pompano Beach, Florida, 33062**, legally described as:

LOT 24, BLOCK 14, OF PINEHURST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLATE BOOK 5, PAGE 13, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 10 FEET AS CONVEYED TO THE CITY OF POMPANO BEACH IN OFFICIAL RECORDS BOOK 15785, AT PAGE 765.

2.2 GRANTEE shall provide proof of long-term lease or ownership of the Property and the status of the business, satisfactory to CRA, prior to disbursal of any funds by CRA.

SECTION 3. THE GRANT

- 3.1 The CRA hereby awards GRANTEE a sum not to exceed **Fifty Thousand and 00/100 Dollars (\$50,000.00)** (the "Grant"). The full amount of the Grant shall be used solely for tenant improvement interior and exterior renovation to The Property. The use of all funds shall be governed by the Application and the Renovation Proposal attached and attached and incorporated herein as composite Exhibit "A" (collectively, the "Scope of Work.").
- 3.2 The CRA's obligation is limited to awarding the Grant. The CRA does not assume any liability for GRANTEE'S personnel decisions, business decisions or policies, including but not limited to the hiring of staff, paying of staff salaries or the expenditure of overhead costs.
- 3.3 Changes in the use of the Grant proceeds or amendments to the project's budget must be approved, in writing, by the City Administrator or CRA's Executive Director. Requests for changes must be in writing by the GRANTEE to the CRA Executive Director and include a detailed justification for the request.
- 3.4 As security for GRANTEE'S performance hereunder, GRANTEE shall, at the discretion of the CRA's Executive Director, execute a Promissory Note, a Mortgage and Security Agreement, a Restrictive Covenant and/or a Guaranty in favor of CRA (the "Grant Documents"), all of which shall be cancelled upon full compliance with the terms of said documents by GRANTEE.
- 3.5 All disbursements of the Grant proceeds shall be made on a reimbursement basis according to the "Project Description" outlined in the Strategic Investment Program application attached hereto as composite Exhibit "A". Grant funds may be used solely for interior and exterior capital improvements to The Property and are subject to the CRA's receipt of documentation establishing prior payment by the GRANTEE of improvements, including receipts, invoices, canceled checks, and such other documents as the CRA may require. The submissions for reimbursements must be submitted to the CRA Executive Director and shall include a letter summarizing the funding request. Disbursements of the Grant proceed may be made on a reimbursement basis or paid directly to the Service Provider, in accordance with the Scope of Services attached to application and provided applicant first approves of payment to Service Provider.

SECTION 4. INSURANCE

- 4.1 The Grant awarded to GRANTEE is subject to the following Insurance requirements:
- 4.1.1 The CRA's receipt of an original certificate of insurance for the following forms of insurance:
 - 4.1.2 Worker's Compensation insurance for all employees of the GRANTEE, as required by Chapter 440, Florida Statutes, as may be amended from time to time.
 - 4.1.3 Public Liability insurance annually in an amount not less than \$300,000 combined single limits per occurrence for bodily injury and property damage which lists the CRA as an additional insured.
 - 4.1.4 The insurance coverage required must include those classifications listed in standard liability insurance manuals, which most nearly reflect the operations of the GRANTEE.
 - 4.1.5 Companies issuing all insurance policies required above must be authorized to do business under the laws of the State of Florida, with the following qualifications:
 - 4.1.6 The company must hold a valid Florida Certificate of Authority as shown in the latest "List of All Insurance Companies Authorized or Approved to Do Business in Florida," issued by the State of Florida Department of Insurance and be a member of the Florida Guaranty Fund;
 - 4.1.7 Certificates of Insurance must provide that the GRANTEE will make no material adverse change, cancellation, or non-renewal of coverage without thirty (30) days advance written notice to the CRA.

SECTION 5. SCOPE OF WORK

- 5.1 Grantee shall use funds provided in accordance with the Application and the Renovation Proposal(s) attached and incorporated herein as composite Exhibit "A" (collectively, the "Scope of Work.").
- 5.2 Any amendments to composite Exhibit "A" desired by GRANTEE shall be submitted in writing to the CRA Executive Director. Amendment must be accompanied by written justification and must be approved by the CRA Executive Director in writing before the amendment becomes effective.

SECTION 6. TERM, COMMENCEMENT AND COMPLETION DATES

- 6.1 The Effective Date of this Agreement shall be the date of execution by the last of the parties.
- 6.2 The Term of this Agreement shall be for twenty four (24) months from the Effective Date.

- 6.3 Work provided in the Scope of Work shall commence on or before **April 19, 2017**, and shall be fully completed not later than 60 days prior to the end of the Term of this Agreement.

SECTION 7. RECORDS

- 7.1 INSPECTION. All of GRANTEE'S books and records and documents related to the grant must be made available for inspection and/or audits by the CRA and any other organization conducting reviews for the CRA upon 24 hours notice throughout the Term of this Agreement. In addition, GRANTEE must retain all records related to the grant in proper order for at least three (3) years following the expiration of the Agreement. The CRA shall have access to such records, for the purpose of inspection or audit during the three (3) years period. This Section shall survive the expiration of this Agreement.

SECTION 8. SPECIAL CONDITIONS

- 8.1 CESSATION OF OCCUPANCY OR OWNERSHIP. In the event the GRANTEE sells, ceases to own or occupy the Property during the "Restrictive Period" provided in the Restrictive Covenant associated herewith, or, in the absence of a Restrictive Covenant, two years from the date of completion of improvements, GRANTEE shall repay the full amount of the grant to the CRA and any unadvanced portion of the Grant shall be retained by the CRA. The determination that GRANTEE has sold, ceased to own or occupy the Property shall be made solely by the CRA. Additionally, sale, cessation of ownership or occupancy constitutes an event of default for which all other default provisions of this Agreement shall apply, including but not limited to those provided in Section 9 below. This provision shall survive termination or expiration of this agreement.
- 8.2 MATERIAL CHANGE OF CIRCUMSTANCES. GRANTEE shall immediately notify the CRA of any material change of circumstances of the project. For the purpose hereof, material change of circumstances shall include, but not be limited to, the failure of the GRANTEE to diligently and actively pursue commencement or completion the Scope of Work, failure to fulfill the terms of this agreement or the other Grant Documents, cessation of occupancy, sale or transfer of ownership of the business or the property, voluntary or involuntary bankruptcy or an assignment for the benefit of creditors. A material change of circumstances shall constitute a default under this agreement for which the CRA shall have the right to pursue any remedy provided in this agreement or the other Grand Documents, or by law or in equity.
- 8.3 ASSIGNMENT. GRANTEE shall not assign, transfer, or otherwise dispose of any of its rights or obligations under this Agreement without prior written consent of the CRA.
- 8.4 RULES, REGULATIONS AND LICENSING REQUIREMENTS. GRANTEE and its staff must possess the licenses and permits required to conduct its affairs including federal, state, city and county. In addition, GRANTEE shall comply with all, laws, ordinances and regulations applicable to carrying out the Scope of

Work including, but not limited to, conflicts of interest, building, zoning, land and property use regulations.

- 8.5 PERSONNEL. GRANTEE shall notify the CRA of all changes in personnel within five (5) working days of the change. All personnel of the GRANTEE are solely employees of the GRANTEE and not employees or agents of the CRA.
- 8.6 INDEMNIFICATION. GRANTEE shall indemnify and hold harmless the CRA and the City of POMPANO BEACH, Florida, and their Board or Commission members, employees or agents from any claims, liability, losses and causes of action that may arise out of any activity related to this Agreement or GRANTEE'S use of the funds. GRANTEE will pay all claims and losses of any nature related to this Agreement or GRANTEE'S use of the funds, and will defend all suits, in the name of the CRA when applicable, and will pay all costs and judgments that may issue from it, except those caused by the sole negligence of CRA employees or officers. The GRANTEE recognizes the broad nature of this indemnification and hold harmless clause, and voluntarily makes this covenant and expressly acknowledges the receipt of good and valuable consideration provided by the CRA in support of the obligation in accordance with the laws of the State of Florida. Nothing herein shall be construed to waive any of the CRA's rights set forth in Section 768.28, Florida Statutes. This paragraph shall survive the termination of this Agreement. Nothing contained in this Agreement shall be deemed a waiver of sovereign immunity by the CRA.
- 8.7 NOTICES. All notices required in this Agreement if sent to the CRA shall be mailed to:

POMPANO BEACH Community Redevelopment Agency
100 W. Atlantic Blvd.
P.O. Box 1300
POMPANO BEACH, Florida 33060
Attn: Executive Director

And to:

POMPANO BEACH City Attorney's Office
100 W. Atlantic Blvd.
P.O. Box 1300
POMPANO BEACH, Florida 33060

All written notices if sent to the GRANTEE shall be mailed to the address in paragraph one of page one above.

- 8.8 NONDISCRIMINATION. GRANTEE represents and warrants to the CRA that GRANTEE does not and will not engage in discriminatory practices and that there shall be no discrimination in connection with GRANTEE'S performance under this Agreement on account of race, gender, religion, color, age, disability, national origin, marital status, familial status, sexual orientation or political affiliation. GRANTEE further covenants that no otherwise qualified individual shall, solely by reason of his/her race, color, sex, religion, age, handicap, marital status or

national origin, be excluded from participation in, be denied services, or be subject to discrimination under any provision of this Agreement.

- 8.9 ADA REQUIREMENTS. GRANTEE must meet all the requirements of the Americans With Disabilities Act (ADA), which includes posting a notice informing GRANTEE'S employees that they can file any complaints of ADA violations directly with the Equal Employment Opportunity Commission (EEOC), One Northeast First Street, Sixth Floor, Miami, Florida 33132.
- 8.10 INDEPENDENT CONTRACTOR. At all times during the term of this Agreement, the GRANTEE shall be and act as an independent contractor. At no time shall GRANTEE be considered an agent or partner of the CRA.
- 8.11 COSTS. GRANTEE shall obtain and pay for all permits, licenses, federal, state and local taxes chargeable to its operation.
- 8.12 ENTIRE AGREEMENT. This Agreement expresses the entire agreement of the parties and no party shall be bound by any promises or representations, verbal or written, made prior to the date hereof which are not incorporated herein.
- 8.13 MODIFICATION. This Agreement may not be modified, except in a writing signed by all parties hereto.
- 8.14 GOVERNING LAW. This Agreement shall be governed by and construed in accordance with the laws of the State of Florida and all legal actions necessary to enforce the Agreement shall be held in Broward County, Florida, or, if Federal, said action shall be brought in the Southern District of Florida. If any legal action or other proceeding is brought for the enforcement of this Agreement, the successful prevailing party or parties shall be entitled to recover reasonable attorneys' fees and court costs.
- 8.15 WAIVER OR BREACH. It is hereby agreed by the parties that no waiver or breach of any of the covenants or provisions of this Agreement shall be construed to be a waiver of any succeeding breach of the same or any covenant.
- 8.16 PLEDGES OF CREDIT. GRANTEE shall not pledge the CRA's credit or make it a guarantor of payment or surety for any contract, debt, obligation, judgment, lien or any form of indebtedness.
- 8.17 SEVERABILITY. If any term or provision of this Agreement, or the application thereof to any person or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of this Agreement, or the application of such terms or provision, to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be affected, and every other term and provision of this Agreement shall be deemed valid and enforceable to the extent permitted by law.
- 8.18 SUCCESSORS AND ASSIGNS. The GRANTEE binds itself and its partners, successors, executors, administrators and assigns to the CRA, in respect to all covenants of this Agreement. Nothing herein shall be construed as creating any personal liability on the part of any officer or agent of the CRA which may be a

party hereto, nor shall it be construed as giving any rights or benefits hereunder to anyone other than the CRA and the GRANTEE

- 8.19 AGENTS. Should a GRANTEE choose to engage the services of an agent (individual or company) to assist/represent applicant in this aspect of the process, the expenses for the agent's service will be borne by the GRANTEE. Such expenses are not reimbursable under the terms of any of the CRA's incentive programs. CRA funds cannot be applied to services other than architecture, engineering, etc. related to the construction of the interior or exterior of the building. The CRA hereby represents and warrants that the CRA has dealt with no Agent and GRANTEE agrees to hold CRA harmless from any claim or demand for commissions made by or on behalf of any agent or representative of GRANTEE in connection with this application for improvements to GRANTEE'S property.

SECTION 9. DEFAULT AND REMEDIES.

- 9.1 GRANTEE'S DEFAULT. GRANTEE'S failure to comply with any of the provisions of this Agreement, or sale of the property by Owner shall constitute a default upon the occurrence of which the CRA may, in its sole discretion, (i) withhold, temporarily or permanently, all, or any unpaid portion of the grant upon giving written notice to GRANTEE, and/or (ii) terminate this Agreement and demand a full refund of the Grant. Upon default as provided herein the CRA shall have no further obligations to GRANTEE under this Agreement.
- 9.2 REPAYMENT OF FUNDS. GRANTEE shall repay the CRA for all unauthorized, illegal or unlawful expenditure of funds, including unlawful and/or illegal expenditures discovered after the expiration of this Agreement. GRANTEE shall also reimburse the CRA in the event of default hereunder, in the event any funds are lost or stolen, if work was not completed as provided in the Scope of Work and the budget attached hereto as composite Exhibit "A" or the Property is sold or vacated by GRANTEE. Any portion of the grant which is to be repaid to the CRA shall be paid by delivering a cashier's check for the total amount due, payable to the POMPANO BEACH Community Redevelopment Agency, within thirty (30) days of the CRA'S demand therefore.
- 9.3 TERMINATION OF THIS AGREEMENT. The CRA may terminate this Agreement with or without cause or for its convenience. Termination of this Agreement by the CRA shall relieve the CRA of any further obligations hereunder. Such termination shall not release GRANTEE from its obligations under this Agreement including, but not limited to, obligations relating to the completion of activities funded while the Agreement was in effect but not completed prior to the date of termination, or repayment of any funds GRANTEE is obligated to repay.
- 9.4 LIMITATION ON RIGHTS AND REMEDIES. Nothing contained herein shall be construed as limiting or waiving any rights of the CRA to pursue any remedy which may be available to it in law or in equity. Nothing contained herein shall

act as a limitation of the CRA's rights in the event that GRANTEE fails to comply with the terms of this Agreement.

- 9.5 CRA'S DEFAULT. In the event the CRA fails to comply with the terms of this Agreement, GRANTEE shall provide the CRA with notice detailing the nature of the default, whereupon the CRA shall have thirty (30) days within which to initiate corrective actions and ninety (90) days within which to cure the default. Should the CRA fail to cure the default, GRANTEE'S sole remedy is to terminate this Agreement. The effective date of any such termination shall be the date of the notice of termination given by GRANTEE to the CRA.

[REMAINDER INTENTIONALLY LEFT BLANK]

IN WITNESS WHEREOF, the undersigned parties have signed this Agreement on the date first above written.

GRANTEE

Corporate Name: BENAVOLOLA LLC

By: [Signature]

Print Name: GIUSEPPE LATONA

Title: Owner

Date: 4/13/2016

WITNESSES:

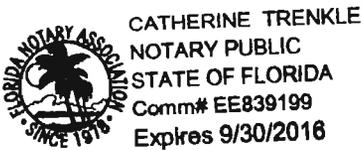
[Signature]
Print Name: DANILIA BAKER

[Signature]
Print Name: LORRI HALL

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 13th day of April, 2016, by GIUSEPPE LATONA.
He/she is personally known to me or who has produced FL-L350 298 70 3910 (type of identification) as identification.

NOTARY'S SEAL:



[Signature]
NOTARY PUBLIC, STATE OF FLORIDA
CATHERINE TRENKLE
(Name of Acknowledger Typed, Printed or Stamped)
EE839199
Commission Number

Signed, Sealed and Witnessed
In the Presence of:

**POMPANO BEACH COMMUNITY
REDEVELOPMENT AGENCY**

Print Name: _____

By: _____
Lamar Fisher, Chairman

Print Name: _____

ATTEST:

Margaret Gallagher, Secretary

Print Name: _____

EXECUTIVE DIRECTOR:
Redevelopment Management Associates, LLC
a Florida limited liability company

By: MetroStrategies, Inc., a Florida corporation
a managing member

By: _____
Kim Briesemeister, President

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this _____ day of _____, 2016, by LAMAR FISHER as Chairman of the Pompano Beach Community Redevelopment Agency, who is personally known to me.

NOTARY'S SEAL:

NOTARY PUBLIC, STATE OF FLORIDA

(Name of Acknowledger Typed, Printed or Stamped)

Commission Number

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this _____ day of _____, 2016, by Margaret Gallagher, Secretary of the Pompano Beach Community Redevelopment Agency, who is personally known to me.

NOTARY'S SEAL:

NOTARY PUBLIC, STATE OF FLORIDA

(Name of Acknowledger Typed, Printed or Stamped)

Commission Number

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this _____ day of _____, 2016, by Kim Briesemeister, President of MetroStrategies, Inc., as Managing Member of Redevelopment Management Associates, LLC on behalf of the limited liability company. She is personally known to me or who has produced _____ (type of identification) as identification.

NOTARY'S SEAL:

NOTARY PUBLIC, STATE OF FLORIDA

(Name of Acknowledger Typed, Printed or Stamped)

Commission Number

Composite Exhibit “A”

**LA VERANDA
2121 EAST ATLANTIC BOULEVARD
POMPANO BEACH, FLORIDA**

**STRATEGIC INVESTMENT PROGRAM (SIP)
APPLICATION**

EXECUTIVE SUMMARY

Executive summary : Business site improvement

CRA

La Veranda has been around for 40 years, established in 1976. The Loyal Following has spanned 3 generations and continues to grow. Its has been recognized as the best Italian restaurant in pompano, with even a celebrity following from, Jackie Gleason, Scottie Pippen, Rondell white, cliff floyd , Frankie Vallie and many more.

The principle of the company is Giuseppe LaTona holding 100% of the company, including the building which is owned 100% by him. The entire renovation project will be funded by the principle privately. The entire upstairs will bring an additional 7-10 new employees to the restaurant and an additional \$7,000 - \$11000 a month in sales tax revenue.

Received
Pompano Beach CRA
2016 FEB -5 PM 12: 45

**PROJECT NARRATIVE
PROJECT PLANS**

FIRST FLOOR

FOR DECOR
REFERENCE
ONLY

NARRATIVE / SCOPE OF WORK

Remodel existing restaurant, to include :

Removal of wine rack, non-bearing partition, at front room, fireplace in bar area.
New interior design to be installed by Manhas Design

Removal of dropped acoustic ceiling, (metal grid and panels).
Provide new tray ceilings between existing and unchanged air conditioning duct-work
Drawings indicate method of drywall installation and new A/C venting, relocation of
smoke detectors, and new lighting.

Renovate existing bathrooms, (men and women) adjacent to bar area.
To include new finishes and fixtures thru out. New wiring plan .
Remodel single bathroom (west- front) to become handicapped compliant .
To include ADA grab bars, open under sink, 60" diameter turning area doors 36"

Remove sliding windows, at main dining room to veranda, and masonry wall below.
Install new impact type, Sliding glass doors. Manufacturers compliance &
required wind pressures shown herein.

Exterior painting and new signage not included on this permit.

Remove replace glass doors between sliders & in bar area to courtyard

Property Description Inquiry

Location ID:

22324

Subd/Block/Lot/Str#Apt:

8236-01- 14- 24 002121

Folio Number:

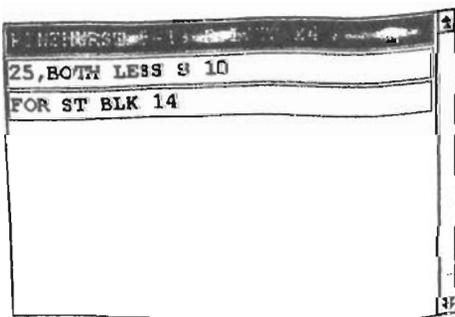
8236011920

Location address:

2121 E ATLANTIC BL

Primary related party:

ANTIMUCCI, FRANCO & LINDA



Pinehurst 15 - 3 B
Lots 24 & 25
less South 10'

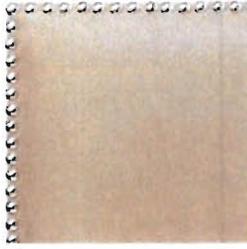
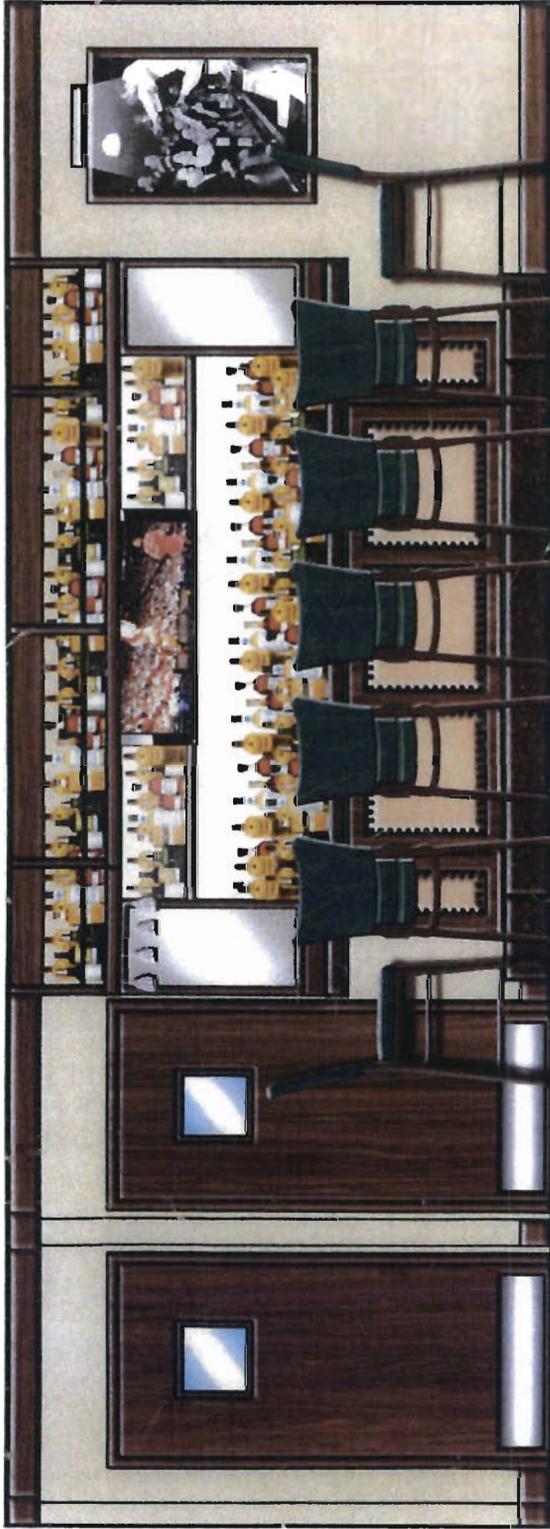
FOR DECOR
REFERENCE
ONLY



FURNITURE FLOOR PLAN



FOR DECOR
REFERENCE
ONLY



UPHOLSTERED
WALL PANELS
WITH NAILHEAD
DETAILS



BOTTLE DISPLAY CONCEPT



BARSTOOL
FINISHES



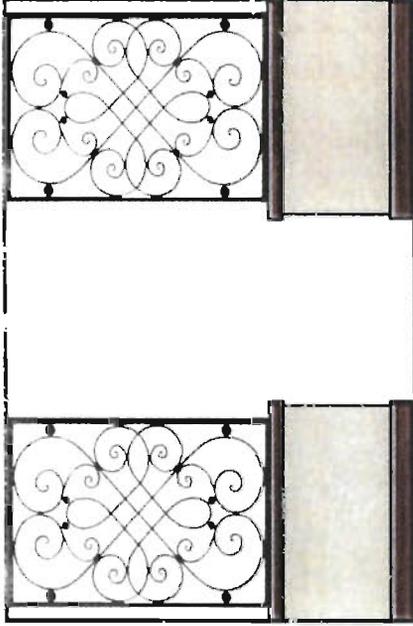
BARSTOOL



FOR DECOR
REFERENCE
ONLY



WINDOW ELEVATION



ENTRY INTO MAIN DINING ROOM



SERVICE ELEVATION



SIDE VIEW OF BAR

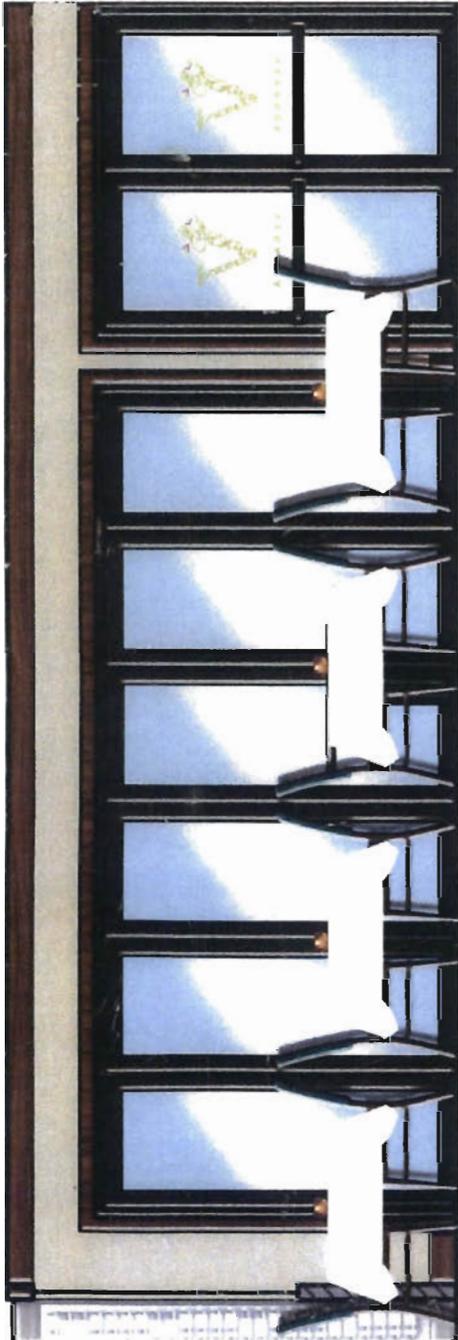
BY DESIGN
IDENTITY

MANHAS
DESIGN

BAR AREA ELEVATIONS

VERANDA

FOR DECOR
REFERENCE
ONLY



STOREFRONT ELEVATION



HERRINGBONE FLOOR PATTERN



NANAWALL BI-FOLD DOORS



FOR DECOR
REFERENCE
ONLY



TOPIARY WALL CONCEPT



WHITE WASHED BRICK



WOOD PLANKS



SCONCE



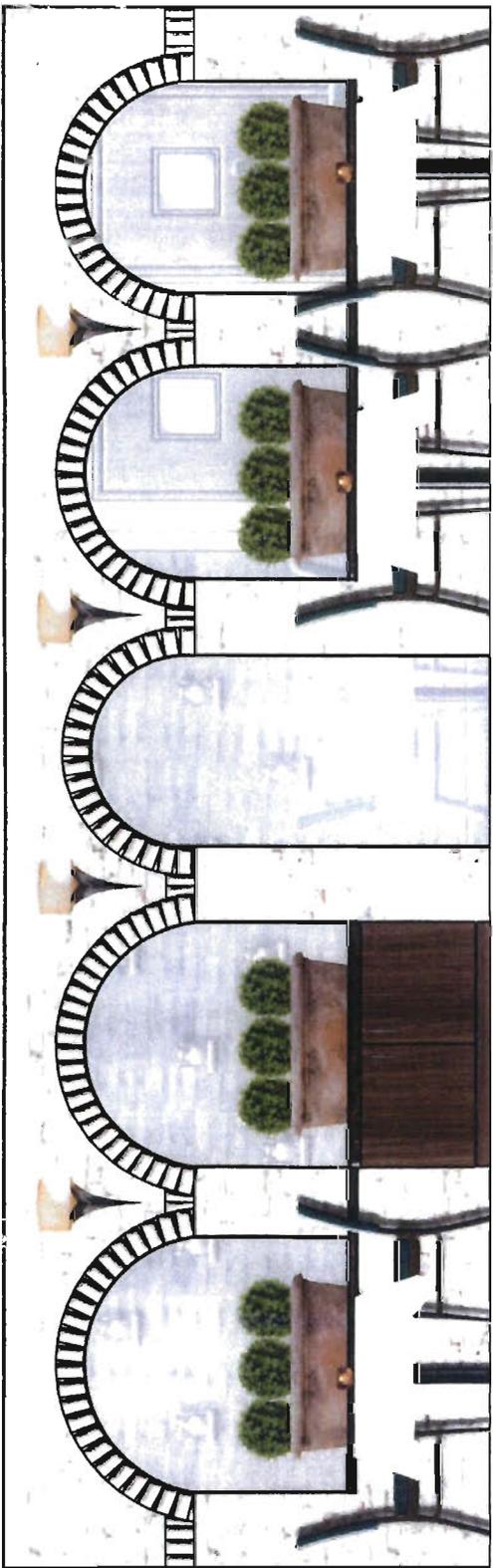
TOPIARY PANELS

BY DESIGN
MANHAS DESIGN
IDENTITY

MAIN DINING ROOM FINISHES

VERANDA

FOR DECOR
REFERENCE
ONLY



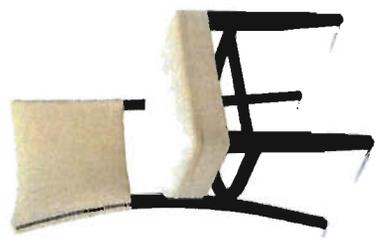
ARCHWAY ELEVATION



WHITE WASHED BRICK



CHAIR
FINISHES



DINING CHAIR



ALTERNATE CHAIR



WALL SCONCE

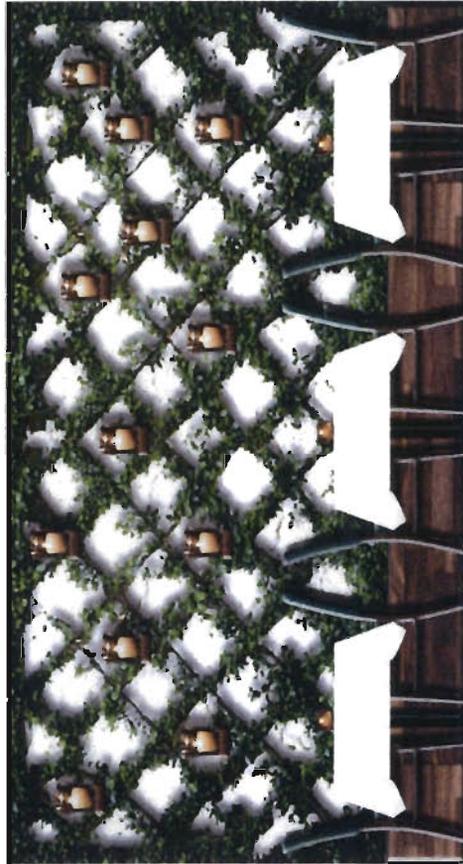
DINING #2 FINISHES




FOR DECOR
REFERENCE
ONLY



BRICK WALL ELEVATION



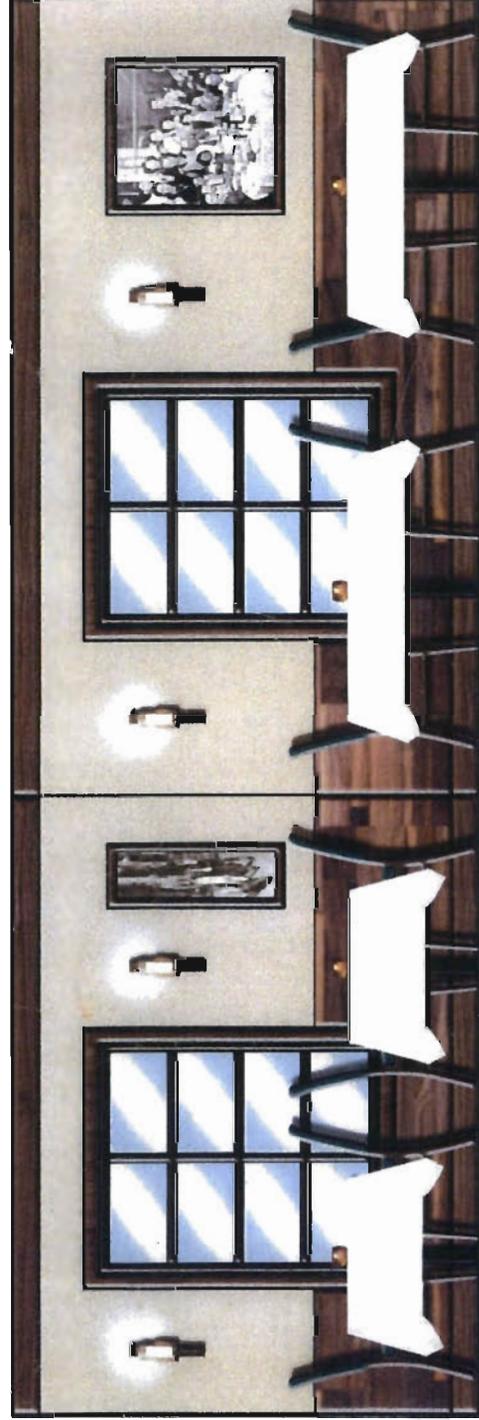
LATTICE WALL ELEVATION



FOR DECOR
REFERENCE
ONLY



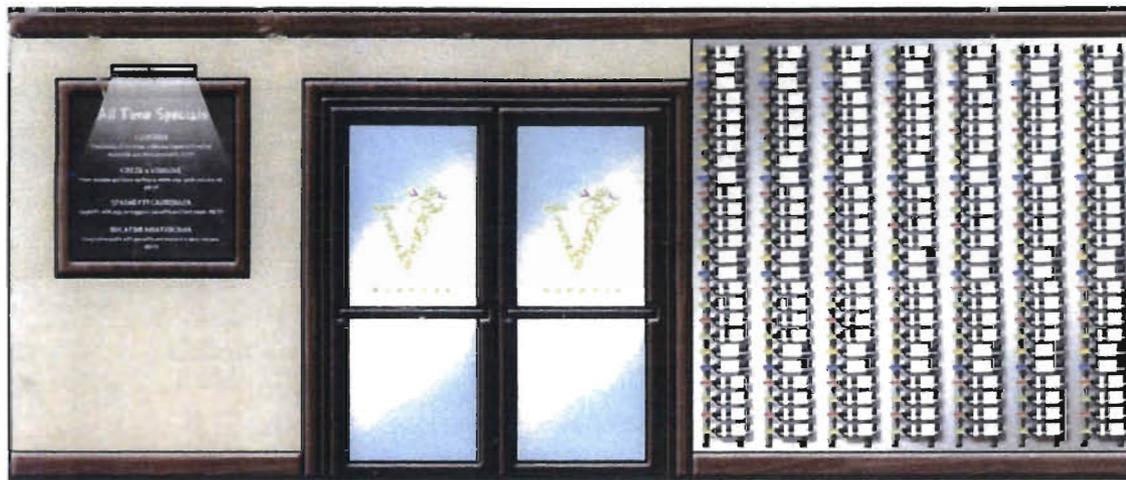
WALL
SCONCE



BY DESIGN
MANHAS
DESIGN
IDENTITY

DINING #3 FINISHES





PICTURE LIGHT ABOVE
CHALKBOARD



RUSTIC WOOD TRIM



CHALKBOARD



MOSAIC TILE FLOOR



WINE DISPLAY



FOR DECOR
REFERENCE
ONLY

SECOND FLOOR

Narrative / Scope of Work

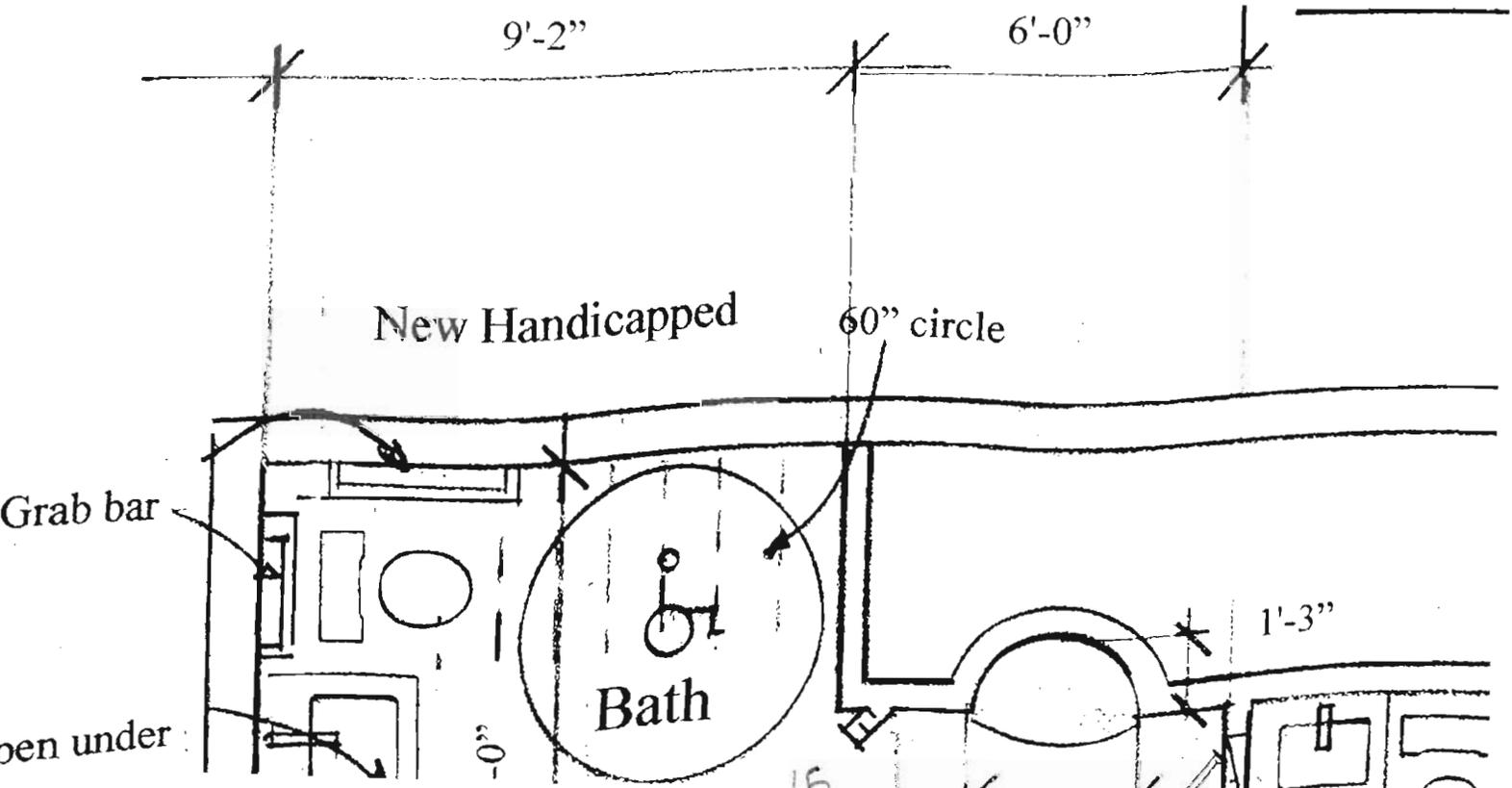
These revisions & additional work to existing space ,take place on Second Floor.

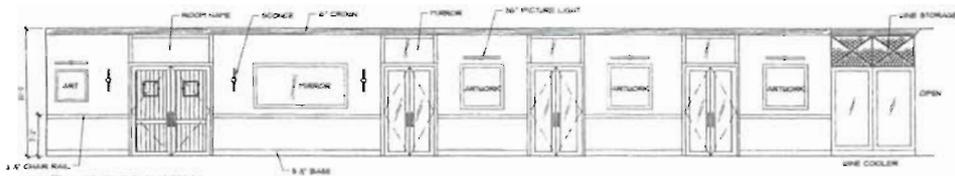
Provide new Handicapped restroom in Northwest corner to include.
New partition and door, plumbing and wiring as indicated.

Provide new partition in Southeast area of room to divide off alcove from main room.
New double doors used herein, and removal of enclosure of former chimney (metal) flu
New ceiling wiring as shown.

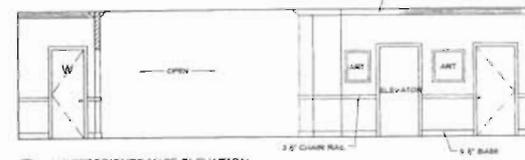
Build new Bar on West wall center, as shown to include:
Triple compartment sinks, employee hand sink, floor drain .
Wiring as indicated, at bar and above.

New electrical service for Elevator, to be installed in (existing) concrete block shaft.
(See electrical plan for details.)

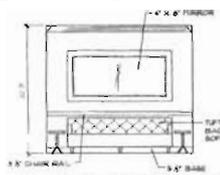




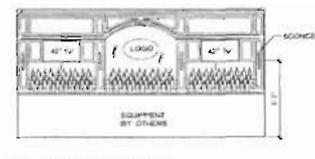
1 DINING ELEVATION
Scale: 1/4" = 1'-0"



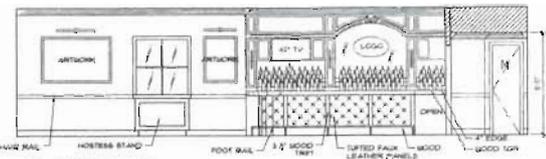
2 HOSTESS/ENTRANCE ELEVATION
Scale: 1/4" = 1'-0"



3 HOSTESS/ENTRANCE ELEVATION
Scale: 1/4" = 1'-0"



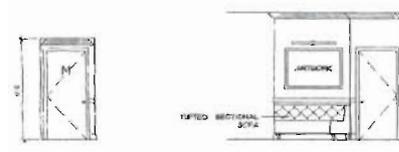
4 BACK BAR ELEVATION
Scale: 1/4" = 1'-0"



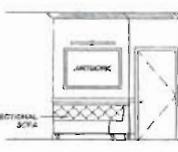
5 BAR ELEVATION
Scale: 1/4" = 1'-0"



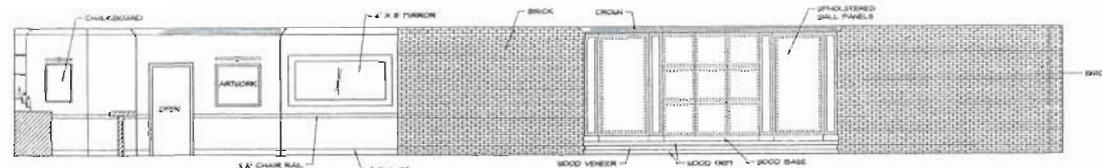
6 VESTIBULE ELEVATION
Scale: 1/4" = 1'-0"



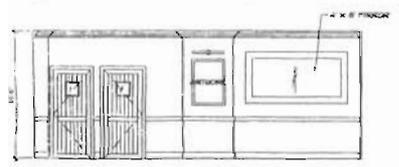
7 VESTIBULE ELEVATION
Scale: 1/4" = 1'-0"



8 DINING ELEVATION
Scale: 1/4" = 1'-0"



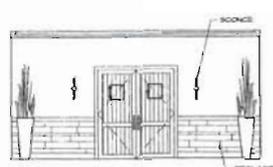
9 DINING ELEVATION
Scale: 1/4" = 1'-0"



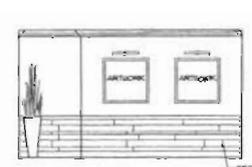
10 DINING ELEVATION
Scale: 1/4" = 1'-0"



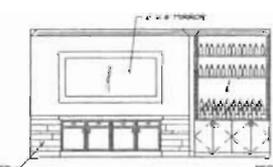
11 DINING ELEVATION
Scale: 1/4" = 1'-0"



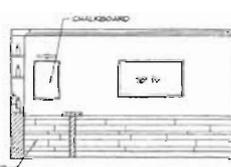
12 PRIVATE DINING ELEVATION
Scale: 1/4" = 1'-0"



13 PRIVATE DINING ELEVATION
Scale: 1/4" = 1'-0"



14 PRIVATE DINING ELEVATION
Scale: 1/4" = 1'-0"



15 PRIVATE DINING ELEVATION
Scale: 1/4" = 1'-0"



16 ADA RESTROOM ELEVATION
Scale: 1/4" = 1'-0"



17 ADA RESTROOM ELEVATION
Scale: 1/4" = 1'-0"



18 ADA RESTROOM ELEVATION
Scale: 1/4" = 1'-0"



19 ADA RESTROOM ELEVATION
Scale: 1/4" = 1'-0"



20 RESTROOM ELEVATION
Scale: 1/4" = 1'-0"



21 RESTROOM ELEVATION
Scale: 1/4" = 1'-0"



22 RESTROOM ELEVATION
Scale: 1/4" = 1'-0"



23 RESTROOM ELEVATION
Scale: 1/4" = 1'-0"

MANHAS DESIGN, LLC
2218 NE 15th Court
FL Lauderdale, FL 33304
T: 954-561-0246
F: 954-561-8434
www.manhasdesign.com



L.A. VERANCA
20 EAST 4th Street
LTD
LTD

REVISIONS	
No.	DATE
No.	DATE
DATE: 8-2-8	
SCALE: AS SHN	

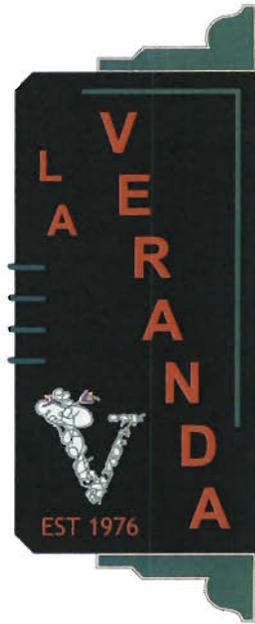


SHEET N

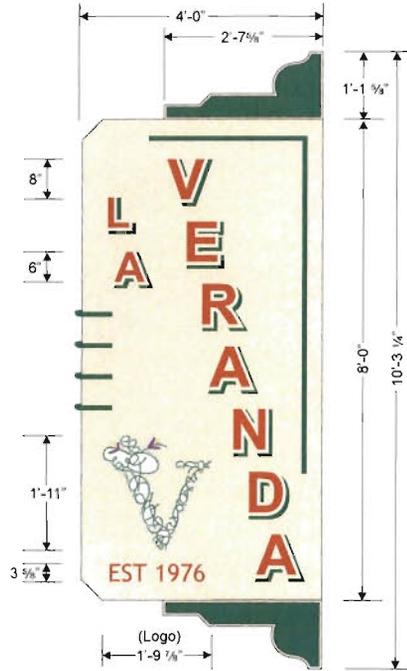
ID-4

17

SCALE
 $\frac{1}{2}'' = 1'-0''$

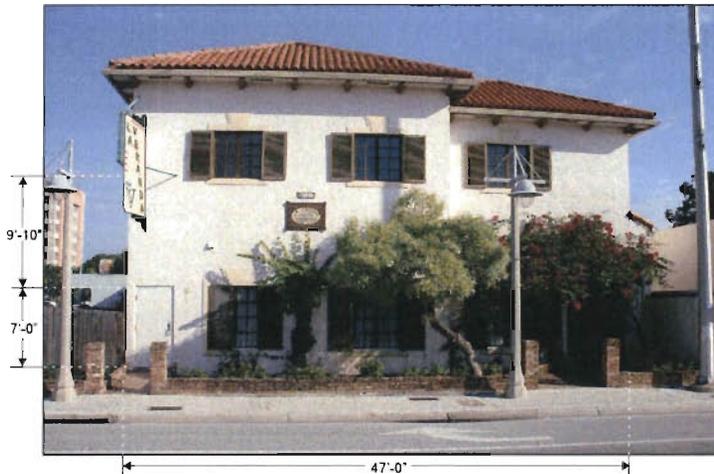


NIGHT



DAY

SCALE
 $\frac{3}{32}'' = 1'-0''$



PROPOSED:

Remove existing illuminated wall sign and wall plaque. Fabricate one (1) double face illuminated flag-mounted sign with push-through letters, bars and printed opaque logo.

- Background and bracket retainers color MP25829 Taos Sand Beige.
- Letters 3/4" clear plastic with 3M 3630-53 Cardinal Red overlay, illuminated red LED, offset shadows of letters (non-illuminated)
- "EST 1976" routed out, backed up with clear plastic with 3M 3630-53 Cardinal Red, illuminated red LED.
- Bars, brackets clear plastic with 3M 3630-26 Green overlay, green LED.
- Logo clear plastic with digital print overlay, illuminated with white LED.

DESIGNED IN COMPLIANCE 2014 FLORIDA BUILDING CODE,
 5th EDITION SECTION 1609 AND APPENDIX H AND ASCE 7-10
 V(ULT) WIND SPEED _____ MPH
 EXPOSURE CLASSIFICATION = C
 RISK CATEGORY = II
 DESIGN PRESSURE _____ PSF



NAME	LA VERANDA			APPROVAL	
JOB NAME	LA VERANDA			COMP.	
ADDRESS	2121 E ATLANTIC BLVD, POMPANO BEACH, FL 33062			REVISIONS	
DESIGNER	DWG NO.	SALES REP.	DATE		
B.B.	15508	BOB	11/04/15		

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APPLICATION
STRATEGIC INVESTEMENT PROGRAM (SIP)

EAST
CRA
POMPANO BEACH

STRATEGIC INVESTMENT PROGRAM
(SIP)

REV. 9/2015

Strategic Investment Program For Projects up to \$5,000,000

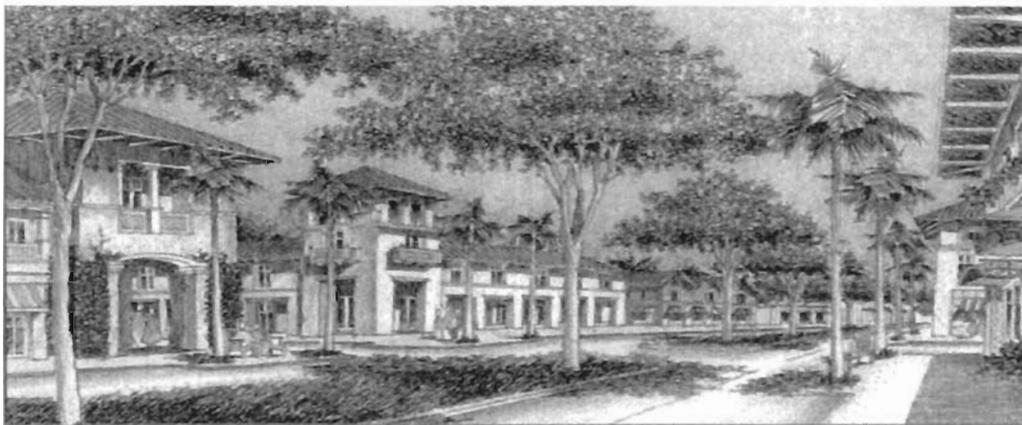
Policy Principles

The Pompano Beach Community Redevelopment Agency (CRA) will collaborate with private sector businesses, property owners, developers, institutions or civic organizations to expand the investment opportunities that implement the adopted CRA Strategic Finance Plan for the East District of the City. The intent of the CRA is to promote the economic welfare of the citizens of Pompano Beach in general, but more particularly the residents, employees and property and business owners within the CRA by encouraging retail, restaurants and mixed use development opportunities that expand the tax base, create jobs, enhance the urban design, and add to the quality of life.

The fundamental goal is to position the East CRA District as a mixed-use, neighborhood oriented, and recreational and commercial destination. The developments are to be of a quality that not only serve the needs of the adjacent resident population, but also attractive to the entire city population and those among the general public, including visitors, who regularly drive through the area. The program should re-invigorate the existing commercial corridor and add new, compatible uses as it fosters employment opportunities for residents. Projects proposed for areas in which public investment is currently underway or will take place in the near future will receive special consideration.

The Strategic Investment Program (SIP) is designed to enhance the pace, content and quality of commercial development with property addresses on Atlantic Boulevard in the East CRA District. The program's focus is to support the CRA's goals and those of area stakeholders. It specifically addresses the infrastructure needs to create the environment necessary to attract private investment capital. It also acknowledges and respects the investments already made by property owners and residents of the neighborhood.

It is the intent of this policy to start strategically to build up the critical mass necessary to have an acknowledgeable economic, visual, and social impact. In strategically targeting resources, the program will attempt to leverage the greatest possible return on the public investment. The program will take effect **November 1, 2009 and operate through September 30, 2016**, but may be revised and extended as success warrants. Please be advised that office space and non-profit organizations are not eligible for incentive programs.



The intent of the SIP is to:

- Serve as a catalyst to stimulate private investment
- Reduce or eliminate financial gaps in development projects
- Support the development of new economic generator activities in mixed-use environments/facilities
- Generate leasing activity for retail and restaurant uses, as well as residential uses
- Encourage quality design and secure key anchor tenants to enhance the marketability of adjacent properties

**Project and Funding Criteria for
Strategic Investment Program**

The criteria for the final determination of projects approved for funding and the specific amount allocated to each project under the Strategic Investment Program follow a three-step process. The maximum amount allotted under this program is \$50,000. The initial step relates to the project's ability to meet specific CRA-related objectives. The objectives are presented in order of importance, and a corresponding numerical weight is attached to each as shown below. A one (1) score has the highest rating.

Applicant should review the following scoring mechanism before applying.

Step I: Project's Ability to Meet CRA Objectives

	Priority #	Weighted #	
I.	1.0	1.0	Quality of design reinforces street life and urban environment as exemplified in "new urbanism" and has been officially approved by CRA prior to permitting process.
		1.5	Generally meets design requirements for the above
		3.0	Does not meet generally recognized "new urbanism" design criteria and does not have CRA approval
II.	1.0	1.0	Project has a leverage ratio of private investment to incentive dollars of at least 10:1
		1.5	Project has a leverage ratio of 5:1 to 9.9:1
		1.75	Project has a leverage ratio of 3:1 to 4.9:1
		3.0	Project has a leverage ratio of less than 3:1
III.	1.0	1.0	Project has a minimum equity investment of 15%
		1.5	Project has a minimum equity investment of 10%
		3.0	Project has less than 10% equity investment
IV.	2.0	1.0	Project includes a financial relationship with one or more private entities which may include equity, long-term lease, in-kind services related to building design or other assets CRA staff deems important to project.
		2.0	Project does not have other partners
V.	2.0	1.0	Project will be under construction within the next 12-16 months
		1.5	Project will be under construction within 17-24 months
		2.0	Project will be under construction after 24 months
VI.	3.0	1.0	Project's tax increment revenues will equal or

- exceed dollar amount of incentives within 10 years
- 1.5 Project's tax increment will be equal to or exceed
dollar amount of incentive within 15 years

The numerical priority # will be multiplied by the "weighted" # corresponding to appropriate project description under each element. The sum of each element will be totaled to determine the project's level of adherence to the CRA's objectives. The numerical scores will serve as a ranking list, with the lowest score ranked highest, for the allocation of resources.

- Score range: 10.0 – 14.0 Project should be funded if resources are available
- 14.1 – 17.0 Project could be funded if all higher ranked projects are funded
and resources are available
- 17.1 + Project should not be funded

The above scoring criteria are established to provide the CRA staff with the means to relatively quickly determine the merits of a particular project submission. **Projects that score favorably are not guaranteed funding.** Once the score is established for each project it would then move to the second step of the evaluation.

Step II: Outside Business Plan/Financial Analysis

This step may include an analysis by a third party, outside firm, hired by the CRA to evaluate:

- Proposed business plan
- Development Pro forma
- Partnership/ownership information with equity positions
- Mortgage on property
- Lease agreements
- Letter of Intent from lending institution
- Any other documents provided by applicant

It is the intent of this review to provide the CRA with additional assistance in determining the business merits of each application.

Step III: Investment Criteria

Once Steps I and II are concluded, each project will be ranked by scores (lowest score rated highest) and placed in one of the following three investment categories.

Projects that include investments up to \$500,000:

- Formula: $(\text{Projected new assessment} - \text{current assessment}) \times .80 \times \text{current city/county/hospital district millage rates} \times 15 \text{ years} = \text{total incentive } \$$
- Eligible Uses: Site improvements (sidewalks, landscaping, signage, etc.)
Building improvements (facades, awnings, roofs, etc.)
Tenant improvements (retail, restaurant, arts, residential, etc.)
- Bonus Eligible: Projects that are minority owned and/or result in business owner occupying a residence in a mixed-use development may receive an extra **5%** above base rate.

Projects that will result in the creation of **5+** jobs may receive an extra **10%** above base rate.

Projects that are in \$500,001 - \$1,000,000 range:

- Formula: $(\text{Projected new assessment} - \text{current assessment}) \times .80 \times \text{current mils} \times 15 \text{ years} = \text{total incentive } \$$
- Eligible Uses: Impact/building permit fees
Site improvements
Building improvements
Tenant improvements
- Bonus Eligible: Projects that are minority owned and/or result in business owner occupying a residence in a mixed-use development may receive an extra **10%** above base rate.

Projects that will result in the creation of **5+** jobs may receive an extra **10%** above base rate.

Projects that are in \$1,000,001 - \$5,000,000 range:

- Formula: $(\text{Projected new assessment} - \text{current assessment}) \times .80 \times \text{current mills} \times 15 \text{ years} = \text{total incentive } \$$
Eligible Uses:
Impact/building permit fees
Site improvements
Building improvements
Tenant improvements
- Bonus Eligible: Mixed-use (two or more retail, restaurant, residential, art etc.) with smallest use no less than 15% of total sq. ft. of project or 1,500 sq. ft., whichever is larger, project can receive an extra **20%** above base rate.

Projects that are minority owned and/or result in business owner occupying a residence in a mixed-use development may receive an extra **5%** above base rate.

Projects that will result in the creation of **5+** jobs may receive an extra **5%** above base rate.

Projects that will result in the creation of **10+** jobs may receive an extra **10%** above base rate.

Reimbursement Process

Applicants for funding should carefully consider the reimbursement process for funding when establishing their timelines for projects that seek Program assistance. It is important to remember that, when contemplating a project, financing should be arranged before work is actually started. If a business owner intends to finance a project with a loan, the CRA may write a letter notifying the lender that a project has been approved for funding under the Program, but that the funding is on a reimbursement basis.

- Grant funds are dispersed on a reimbursement basis for eligible and pre-approved expenses only.

- No grant funds will be dispersed prior to inspection and receipt of final approvals by the City's Building Department, and any other required final approval, if applicable. For extensive renovation, reimbursement may be provided in three (3) draw schedules provided inspections from appropriate government agencies have been approved for work completed and work has been done in a first class workmanlike manner. Final inspections from appropriate government agencies will need to be approved for final draw.
- To receive a reimbursement, grantees must submit a detailed work invoice with proof of payment to the selected contractor in the application package for completed work in the form of a cancelled check, credit card statement, or vendor certification of payment (vendor's paid receipt) and a General Contractor's Waiver. Disbursements of the Grant proceeds may be made on a reimbursement basis or paid directly to the Service Provider, in accordance with the Scope of Services attached to application and provided applicant first approves of payment to Service Provider.
- Reimbursement is at the approved grant award rate using the SIP Formula.
- All final approvals and requests for reimbursement must be received by the CRA no more than twenty-two months following approval of the application by the CRA.
- No assurances are given as to how soon reimbursement funds will be disbursed by the CRA after all required documentation has been submitted.

Please Note

Disbursements of the Grant proceeds may be made on a reimbursement basis or paid directly to the Service Provider, in accordance with the Scope of Services attached to application and provided applicant first approves of payment to Service Provider.

Property to be improved must be free of all municipal and county liens, judgments or government encumbrances of any kind. This provision can be waived by the CRA Board of Commissioners if development plans for said property meets the goals and objectives as set forth in the East CRA District Five Year Strategic Finance Plan. Upon grant approval, said property must remain free of all municipal and county liens, judgments or government encumbrances of any kind under the term of the agreement.

Should an applicant choose to engage the services of an agent (individual or company) to

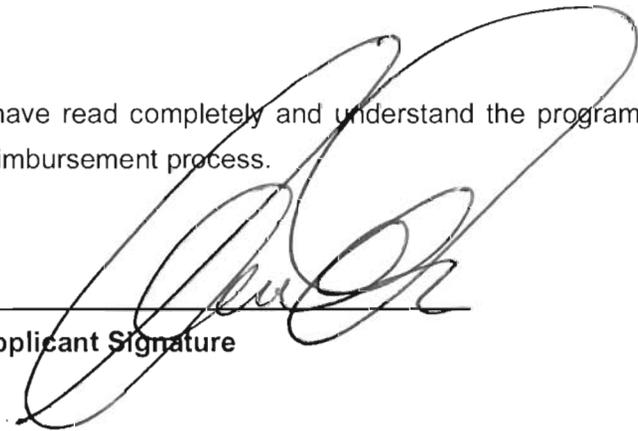
assist/represent applicant in this aspect of the process, the expenses for the agent's service will be borne by the applicant. Such expenses are not reimbursable under the terms of any of the CRA's incentive programs. CRA funds cannot be applied to services other than architecture, engineering, etc. related to the construction of the interior or exterior of the building.

The Strategic Investment Program benefits are contingent on funding availability and CRA approval, and are not to be construed as an entitlement or right of a property owner or applicant. Properties in the CRA areas are not eligible for City/CRA funded programs when such funding conflicts with the goals expressed in the CRA Strategic Finance Plan or Community Redevelopment Plan. Work must commence within 12 months after application approval. If work has not begun within 12 months, funds will be reprogrammed.

PLEASE READ THE FOLLOWING PRIOR TO APPLICATION SUBMITTAL

- Properties listed for sale may not apply. Properties sold within twenty-four months of receiving grant funding **must repay the full amount**.
- Prior to application submittal, a preliminary review of proposed renovations to property must be completed by the Planning Department.
- After approval process, the CRA will provide the applicant with an approved Grant Agreement for signature. It is recommended that **NO CONSTRUCTION** begin until the Grant Agreement is signed by all parties. Improvements completed prior to approval by the CRA Board may not be eligible for reimbursement.
- If deemed necessary, the Community Redevelopment Agency (CRA) reserves the right to have the application and its contents evaluated and analyzed by an outside third party including but not limited to: the proposed business plan, partnership/ownership information with equity positions, mortgage on the property, lease agreements, Letter of Intent from lending institution and any other documents provided by the applicant.
- If your site plan or application request includes landscaping, the landscaping must be species and varieties of native plants that are drought tolerant, require little irrigation and withstand the environmental conditions of Pompano Beach. Irrigation systems must prevent over spray and water waste and it is recommended a drip irrigation system be installed.
- Property to be improved must be free of all municipal and county liens, judgments or government encumbrances of any kind. This provision can be waived by the CRA Board of Commissioners if development plans for said property meets the goals and objectives as set forth in the East CRA District Five Year Strategic Finance Plan. Upon grant approval, said property must remain free of all municipal and county liens, judgments or government encumbrances of any kind under the term of the agreement.

I have read completely and understand the program, including the application guidelines and grant reimbursement process.



Applicant Signature

Date 11-2-15

Property Owner (if different)

Date _____

Strategic Investment Program
Application Form

NOV-4 PM 1:29

Date of Application 11-2-15

1. Address of project requesting CRA investment:

LA Veranda 2121 E. ATLANTIC Blvd.
33062

2. Name of Applicant: Giuseppe Latona

Address of Applicant: 3404 Barton Road
Pompano Beach

Phone: 954-612-3111 Fax:

Email: JLATONA@me.com

3. Does the applicant own project property? Yes No

If "No" box is checked, when will property be in control (own or long-term lease) of applicant?

Indicate the owning entity of the property (i.e. name on property title)

AFL 1965 LLC

4. What is the total estimated project investment?

Current assessed value: \$1,100,000

New capital investment dollars: 400 - 500,000

Total estimated new assessment: _____

34,634

5. What is the percentage (%) amount of ownership equity relative to total estimated project investment?

20% or more

10% to 19.9%

Less than 10%

None

6. What is the percentage (%) of minority ownership of the project?

100%

50% or more

Less than 50%

None

7. How many jobs for neighborhood residents will be created upon completion of the project?

1-5
 6-10

10+

None

8. When is it anticipated that construction could begin, assuming project receives SIP assistance? (A detailed project schedule must accompany application)

Less than 12 months

12 to 16 months

16 to 24 months

Longer than 24 months

9. Include with this application:

- Two bids/quotes from 2 licensed contractors
- Detailed Budget for entire project
- City of Pompano Beach Business Tax Receipt
- Current Photograph of existing property conditions
- Description of proposed development/improvement of property
- Preliminary site plan, floor plans and renderings that enable staff to determine quality of design; parking must be included in the site plan and meet current code regulations
- Infrastructure improvements, if any, in either the public ROW or on private property
- Preliminary project schedule
- Tenant makeup

- Resume of developer indicating related development experience
- Business and Financial Information:

Handwritten notes:
 - *Business Plan
 *Pro forma
 *Mortgage on property. If applicant does not own property, a written authorization from property owner to make changes outlined in the project needs to be provided
 *Lease agreements with at least 24 months remaining
 *Letter of Intent from lending institution
 *Partnership and/or ownership information with equity positions

- *Business Plan
- *Pro forma
- *Mortgage on property. If applicant does not own property, a written authorization from property owner to make changes outlined in the project needs to be provided
- *Lease agreements with at least 24 months remaining
- *Letter of Intent from lending institution
- *Partnership and/or ownership information with equity positions

Authorized Representative

Handwritten signature: Giuseppe LaTona

Name

Signature

Handwritten: Owner

Title

Handwritten: 11-2-15

Date

Please Note

Property to be improved must be free of all municipal and county liens, judgments or government encumbrances of any kind. This provision can be waived by the CRA Board of Commissioners if development plans for said property meet the goals and objectives as set forth in the East CRA District Five Year Strategic Finance Plan. Upon grant approval, said property must remain free of all municipal and county liens, judgments or government encumbrances of any kind under the term of the agreement.

SIP Formula

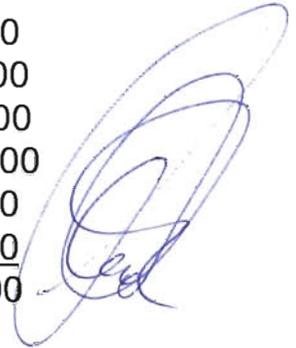
Projected New Assessment-Current Assessment				Millage Rate	Years			
\$341,637	x	0.8	x	0.0119031	x	15	=	\$48,798
				5%- Minority/Mixed Use			+	\$0
				10%- 5+ Jobs			+	\$4,880
				<u>TOTAL</u>				<u>\$53,678</u>
				PROGRAM MAXIMUM GRANT AWARD				\$50,000

**DETAILED BUDGET
ESTIMATES
SCHEDULE**

DETAILED BUDGET

LA VERANDA

Design plans	\$19,100.00
Signage (additional signage contemplated)	\$ 15,000.00
Permits	\$ 6,000.00
Second Floor Improvements	\$216,245.00
Elevator	\$59,725.00
Hvac	\$25,567.00
<hr/> TOTAL :	<hr/> \$341,637.00



CrawfordDesign
Serving Boca Raton since 1976

451 N.W. 15th Street
Boca Raton, FL 33432

561-392-0608
bcraw4rd@aol.com

Mr. Giuseppe La Tona
La Veranda Restaurant
2121 East Atlantic Blvd
Pompano Beach, Florida.
33062

June 2, 2015

Provide plans for remodeling of existing restaurant at above address for issuance of Building Permit.

To include : Scope of work indicated by Pam Manhas on May 26, 2015 at job site.

Plans drawn to scale for, new floor plan, removal of non-bearing interior partitions.

Remodeling and addition of existing & new bath rooms, replaced former bath,(existing plumbing).

Removal of existing drop ceiling , and new reflected ceiling plan. (wiring per designer)

Replace windows to outside area with sliding glass. Under existing concrete beam unchanged.

Interior wall / floor finishes per designer.

Estimated fee for above work.....\$ 3,600.00
Cost of plans not to exceed.....\$ 5,000.00

Change in fee based on unforeseen circumstances,
& items not listed above.

Not included:

Existing parking,site & calculations.

Air conditioning,ductwork, changes,calculations.

Changes to kitchen.

Retainer required, \$ 2,000.00 please make check payable to Bob Crawford.

Plans to be completed in 2-3 weeks.



Mr. Joe La Tona
 La Veranda Restaurant
 2121 East Atlantic Blvd
 Pompano Beach, Florida
 33062

August 17, 2015

Provide plans for remodeling of Second Floor at address above.

Scope of work, follow direction of Manhas Design. To remodel space as Banquet / Reception Hall.

To include :

Addition of new handicapped compliant bath.

Bar w/ plumbing and wiring .

Electrical layout for areas shown on preliminary design 8/17/15 South of North stairs.

Required interior partitions and wiring involved.

Provide installation of Elevator details to fit existing shaft.

Add new Dumbwaiter from Kitchen on first floor to area by North access stairs.

*ck # 1061 \$2000
 ck # 1074 \$1,000*

Fee for above work ^{6,000} ~~\$8,500.00~~

~~Retainer to begin~~ \$ 5,000.00

NOT TO EXCEED

Bob Crawford

Not included :

Parking calculations for new design.

Air Conditioning duct-work, calculations.

Structural Engineering fees for removal of concrete deck 2nd floor at dumbwaiter.

Please make check payable to Bob Crawford.

Invoice

MANHAS DESIGN

2218 NE 15TH COURT
FT. LAUDERDALE, FL 33304

PH: 954.561.0246
MANHASDESIGN.COM



Bill To:				Invoice No.
La Veranda				014-253
				Date
				06/22/15
				Terms
				Due on receipt
Item	Description	Quantity	Rate	Amount
Interior Design	Design - Phase 2 - Design development	1	4,500.00	4,500.00
Blue Printing	Plotting of drawings	1	42.86	42.86
	Sales Tax		6.00%	0.00
			TOTAL	\$4,542.86

PermitXperts, Inc.
(954)361-4207
info@permitxperts.com

Invoice

BILL TO
La Veranda
2121 E Atlantic Blvd
Pompano Beach, FL 33062

SHIP TO
La Veranda
2121 E Atlantic Blvd
Pompano Beach, FL 33062

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
1029	10/26/2015	\$650.00	10/26/2015	Due on receipt	

PERMIT #
15-6035

ACTIVITY	QTY	RATE	AMOUNT
Permits Processing Fee-COMMERCIAL notarizing, processing and submittals of applications to city and county building departments (REVISIONS)	1	650.00	650.00

BALANCE DUE **\$650.00**

Please make checks payable to PermitXperts, Inc.

PermitXperts, Inc.

Invoice

(954)361-4207

info@permitxperts.com

BILL TO
La Veranda
2121 E Atlantic Blvd
Pompano Beach, FL 33062

SHIP TO
La Veranda
2121 E Atlantic Blvd
Pompano Beach, FL 33062

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
1028	10/20/2015	\$3,888.60	10/20/2015	Due on receipt	

PERMIT #
15-6035

ACTIVITY	QTY	RATE	AMOUNT
Permits Processing Fee-COMMERCIAL notarizing, processing and submittals of applications to city and county building departments	1	1,500.00	1,500.00
Credit CHECK 1005	1	-1,500.00	-1,500.00
Notice of Commencement notarizing and recording	1	38.50	38.50
A AAH Terry's Plumbing permit fee	1	200.00	200.00
Pompano Beach Building Permit Master, Electrical, Plumbing and Fire Department Permits	1	3,650.10	3,650.10

BALANCE DUE	\$3,888.60
-------------	-------------------

Please make checks payable to PermitXperts, Inc.

SCOTTY MAC CONSTRUCTION INC

STATE CERTIFIED GENERAL CONTRACTOR
CGC # 059557

4233 NE 12 Terrace
Oakland Park, Florida 33334
954 480-2876 Phone
954 480-9745 Fax
www.scottymacconstruction.com

PROPOSAL

JULY 10 2015

**LA VERANDA ITALIAN RESTAURANT
2121 EAST ATLANTIC BLVD
POMPANO BEACH, FL**

Scotty Mac Construction, Inc. proposes to furnish all materials and labor necessary to complete the following work in a timely and workmanlike manor:

Complete demo of approx 2500 sq.ft. of flooring ceiling and grid all clean up And disposal of debris all can rentals and dump fees included 15.000

All frame work for new ceiling plan, all labor and materials per plans

dated 6/12/15	13.000
Furnish and install new drywall lids and all soffit work corner bead and Finish per plans dated 6/12/15	12.000
Furnish and install new drywall ceilings in both rest rooms per plan Demo of old ceilings included in pricing	1.600
Furnish and install all track and ceiling panels per plans approx 1600 Sq.ft. at 5.00 per sq. ft allowance (tile panels have not yet been selected Price will move either way on selected profile or standard product)	8.000
Re rout all a/c ducts and diffusers new grills and drops to new ceilings	9.000
Furnish and install all recessed lighting and circuits per plans all jay Boxes and install all owner supplied fixtures per plan and designers scope Of work , all wire boxes feeds cables outlets and trim supplied in quote All recessed 4" cans supplied are 120 line voltage with white trim, low Voltage cans or any deviation from our scope of work will be an additional Charge	28.000
Furnish all labor and dry goods to set approx 2500 s.f. of mud set floor	15.000
Furnish all materials and labor to float approx 250 s.f. of owner supplied Mosaic floor per plan grout and finish	2.500

#1 Bar dining elevation remove existing glass and door unit , remove Concrete knee walls and prep opening for new 6' x 8 ' double door unit And 2 stationary side light units	1.800
#1 Furnish and install new 6' x 8 ' double door unit And 2 stationary side light units HVZ approved bronze frames and clear glass	8.380
#2 hang art work supplied by owner F/I 3 black metal brackets, bronze Mirror, and wood moulding Note: Can not price out reclaimed drink rail at this time and lower section Of wall has no specifications attached .	1.960
#3, 3.1, 4, and 5 F/I new wood laminate ,kick plates, wood molding, wood step, bottle Steps, wood trim, Bronze mirror, service station wood box and laminate Note: can not price out metal rods or bottle display /storage or reclaimed wood tops and steps. I have no info On product,	1.600
#6 remove existing glass and door unit , remove Concrete knee walls and prep openings for new doors and sliding units	3.500
#6 furnish and install 16'x8' xoxo sliding door units HVZ approved bronze Frames and clear glass	9.800
#6 Furnish and install new 6' x 8 ' double door unit And 2 stationary side light units HVZ approved bronze frames and clear glass	8.380

#7 F/I all wood work base and mouldings hang owners art	550
#8 F/I wood wine slats, new wood base and wood cove.	7.600
#9 F/I all plywood backing smooth side out, paint green , install owner Supplied topiary, wood cove ,wood plank wainscot match existing brick Work hang mirrors on chains and hooks	3.200
#10 F/I new brick areas to match , new wood cove	1.750
#11, 12 F/I wood cove candle holders by owner install vines by owner	2.600
#13 furnish and install 16'x8' xoxo sliding door units HVZ approved bronze Frames and clear glass	9.800
#14 F/I new brick wall , one 36"x8' glas door and 10'x8' bifold glass door Unit wood and glass product to finalized by owner one light or 8 light panels Hang owners sign new wood cove	7.800
#15 install owners wine racks , new base and cove wood ,one frosted glass 36'x8' pre hung unit	3.600
#16 F/I new wood cove install owners art work ,	250
#17 F/I wood trim hang owners are	325
#18 F/I wood trim and wood cove hang art and sconces	250

#19 F/I wood base wood trim and hang art	250
# 20 F/I wood trim , bronze plates wood moulding 2 new wood doors new 3 1/2 wood trim install M & W supplied by owner	2.100
#21 no work	
#22 F/I new wood door new bronze kick plate, new partitions And all hardware, owner to pick mica finish ,	1.300
#23 F/I new mirror, new granite top and back splash, wood trim, wood Skirt, Note: can not price sink or faucet, there are no specs at this time	1.650
# 24 F/I new wood look laminate partions and all related hardware	400
painting all white wash walls all bricks all ceiling and trim labor And materials	8.500
All wood plank product approx 400 sq ft @ 22.00 per sq.ft.	8.800
Labor to install approx 400 sq ft of wood product	4.000
Furnish and install one H/C bath room ADA code compliant lav, Handles, Doors access grab bars Lighting, ceiling and fixtures included All new plumbing and drains included, all rough under ground plumbing Is in place per drawings concrete cutting under ground and escavating	

will be An additional charge if needed

12.000

Total cost as estimated \$ 216,245.00

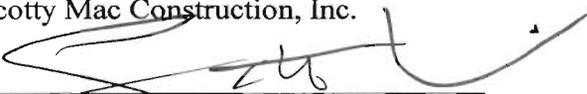
*# 15,000 dep. To order windows.
CK # 1019*

NOTE : All permit fees, application fees, etc needed by the city will be paid by owner.
as well as a \$ 1,500.00 permit processing service fee made payable to
PermitXperts, Inc. for commercial applications to both broward county and
City of pompano beach

Note

All of the above work to be completed in a substantial and workmanlike manner. Any alteration or deviation from the plans and specifications will be executed only upon written orders for same. All agreements must be in writing via another contract or a change order. Scotty Mac Construction, Inc. agrees to abide by all Federal and State Workmen's Compensation laws and maintain General Liability Insurance.

Respectfully submitted,
Scotty Mac Construction, Inc.

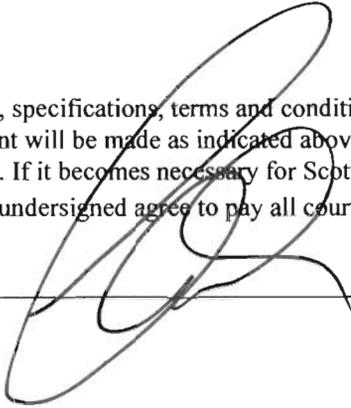


Representative of Scotty Mac Construction. Inc.

Acceptance of proposal

The above prices, specifications, terms and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Payment will be made as indicated above. All materials remain the sole property of Scotty Mac Construction, Inc. until the job is paid in full. If it becomes necessary for Scotty Mac Construction, Inc. to employ a collection agency and/or attorney to collect on this bill, I the undersigned agree to pay all court cost and attorney fees.

Accepted by

A large, stylized handwritten signature in black ink, consisting of several overlapping loops and curves.

Date

A handwritten date in black ink, appearing to be "7-20-15".

Licensee Details

Licensee Information

Name: **JACOBBAZZI, ANTHONY ROCCO (Primary Name)**
SCOTTY MAC CONSTRUCTION INC (DBA Name)

Main Address: **9396 154TH ROAD**
JUPITER Florida 33478

County: **PALM BEACH**

License Mailing:

LicenseLocation: **423 NW 48TH AVE**
DEERFIELD BEACH FL 33442

County: **BROWARD**

License Information

License Type: **Certified General Contractor**

Rank: **Cert General**

License Number: **CGC059557**

Status: **Current,Active**

Licensure Date: **01/13/1998**

Expires: **08/31/2016**

Special Qualifications **Qualification Effective**

Construction Business **02/20/2004**

Alternate Names

[View Related License Information](#)

[View License Complaint](#)

1940 North Monroe Street, Tallahassee FL 32399 :: Email: [Customer Contact Center](#) :: Customer Contact Center: 850.487.1395

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555 SOUTH DIXIE HIGHWAY EAST, POMPANO BEACH, FL 33060-6985

BROWARD (954) 946-3474
MIAMI-DADE (305) 947-0631
PALM BEACH (561) 737-6304
FAX (954) 946-8051

CONTRACT NO: 19456

CONDITIONAL SALES AGREEMENT

DATE: 11/04/15
PAGE: 1

THIS AGREEMENT made in quadruplicate on the above date, between McNeill Signs, Inc., hereinafter called the "Seller" and

Name:

Address: LA VERANDA RESTAURANT

2121 E ATLANTIC BLVD POMPANO BEACH, FL 33062

Hereinafter called the "Purchaser."

WITNESSETH: The Seller agrees to the terms and conditions hereinafter contained to manufacture and install an advertising display, hereinafter called "installation" in conformity with the specifications and conditions hereinafter contained, including those on the reverse hereof, and with the plans, if any, approved this day in writing by the partners hereto, all of which are incorporated herein as part of this agreement.

Job Name:

Address: LA VERANDA RESTAURANT

City, State: 2121 E ATLANTIC BLVD Phone: POMPANO BEACH, FL 954 612 3111

Contact Name: JOSEPH LATONA

REMOVE AND DISPOSE OF EXISTING NORTH BUILDING ELEVATION WALL SIGN, PATCH HOLES AND REPAINT SIGN WALL AREA. FABRICATE AND INSTALL ONE (1) 10'-3-1/4" X 4'-0" X 1'-4" DEEP DOUBLE FACE LED ILLUMINATED PROJECTING SIGN AS DESCRIBED ON DRAWING #15508.

\$11,373.91

- PLUS PERMITS
- CONNECT TO EXISTING PRIMARY ELECTRIC AT SIGN BASE. ADEQUATE 120 VOLT DEDICATED CIRCUIT AND GROUNDING CONDUCTOR AT SIGN BASE IS THE RESPONSIBILITY OF THE PURCHASER.
- TIME CLOCK INSTALLATION ADDITIONAL IF REQUIRED.

PRICE\$
 Sales Tax\$.00
 TOTAL\$.00
 Deposit\$.00
 Balance\$.00
 (price valid for 30 days) .00

Terms:
 COST OF PERMITS ADDITIONAL
 Balance due immediately upon completion \$ _____
 \$ _____

Subject to warranty and conditions on back side of this Agreement

- Corporation
- Partnership
- Individual

ROBERT FREEMAN

(Salesman)

LA VERANDA RESTAURANT

(Purchaser)

Signature: *Robert Freeman*

Signature: _____

Accepted By: _____

Title: _____

Date: _____ Title: _____

Date: _____

Licensee Details

Licensee Information

Name: **MCNEILL, JAY RUSSELL (Primary Name)**
MCNEILL SIGNS INC (DBA Name)

Main Address: **555 S DIXIE HWY E**
POMPANO BEACH Florida 33060

County: **BROWARD**

License Mailing:

LicenseLocation:

License Information

License Type: **Certified Specialty Contractor**

Rank: **Cert Specialty**

License Number: **ES12000166**

Status: **Current,Active**

Licensure Date: **08/05/2003**

Expires: **08/31/2016**

Special Qualifications **Qualification Effective**
Sign Specialty **07/03/2003**

Alternate Names

[View Related License Information](#)

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5381 NW 33rd Avenue, Suite 103
Fort Lauderdale, Florida 33309
Phone: 954-535-1336
e-mail:



December 17, 2015

Scotty Mac Construction

4233 NE 12th Terrace
Oakland Park, Florida 33334
Phone: 954-818-6504
email :

Project:

Dear Scotty,

We are pleased to provide you with our proposal to furnish and install the following:

Proposed Otis Elevator System Cost:

Fifty Nine Thousand Seven Hundred Twenty Five Dollars and No Cents (\$59,725.00)

Please take note of the following sections of this proposal:

- **Scope of Work**
- **Job Specific Clarifications**
- **General Clarifications**
- **Terms and Conditions**
- **Voluntary Alternates**
- **Preparatory Work by Others**

This quotation is valid for thirty (30) days from the date of submission, and is based upon:

Otis predicates the quote upon timely furnishing of a completed hoistway for uninterrupted use. In addition, if the project is delayed past _____, you will be responsible for any labor and material increases that have occurred.

We appreciate having the opportunity to provide you with our proposal on this project and look forward to working with you and your project team. Please call me at 954-535-1336 with any questions.

Regards,

John Reeve

5381 NW 33rd Avenue, Suite 103
Fort Lauderdale, Florida 33309
Phone: 954-535-1336
e-mail:

Scope Of Work For: Group 1- 2100LB 100-FPM

Designation & Model	<i>Otis HydroFit™ Elevator System</i>
Capacity & Speed	<i>2100 lb Passenger Cab @ 100 fpm</i>
Stops & Floors	2 Stops with 2 Front Openings
Rise	10 ft 9 in
Clear Car Inside Dimensions	5 ft 9-1/2 in wide x 4 ft 4-1/8 in Deep
Clear Hoistway Dimensions	7 ft 6 in wide x 5 ft 11 in Deep, Overhead = 12 ft 3 in and Pit Depth = 4 ft
Door Type & Size	One Speed Side Slide- 36 in wide x 84 in High
Control Space	<i>Remote Machine Room 100' from Hoistway on 2nd floor</i>
Operation	Simplex
Power Supply	Volts, Three Phase AC, 60 Hertz
Cab Enclosure	93 in High, Otis Laminated Steel Cab Shell Stainless Steel Full #4 Standard Return, Header, and Car Door Brushed Stainless Steel, Rectangular Rear Only Handrail with Standoffs Painted Flat Canopy with 4 LED Down Lights
Cab Flooring	Furnished and Installed by Others- 1.25 in Recess
Hoistway Entrance Finish(s)	Brushed Stainless Steel at all Landings
Hoistway Sill Finish(s)	Aluminum at all Landing
Signals	Brushed Stainless Steel Standard Car Operating Panel Including: Round Flat Buttons With Undetermined Illuminated Halo Color Flat Brushed Stainless Steel Hall Fixtures Mounted in the Jamb, with: Brushed Stainless Steel Flat Buttons
Constant Features	Access at Top and Bottom Landing with Zoning Firefighter's Service, Phase I and II Handicapped and Braille Markings Optiguard® Door Reversal Device In Car Lantern Otis ADA Hands Free Phone and Emergency Car Lighting
Additional Features	Independent Service Brushed Stainless Steel In Jamb Hall Button Fixtures at all Landings
Code Compliance	All Applicable Local, State, and National Codes- ANSI A17.1, Florida Local Code and A.D.A. No Seismic Requirements
Maintenance	12 Months After Acceptance of Elevator by Owner. Includes Emergency Callback Service During Normal Working Hours.

Total Comfort A/C Inc.

8269 NW 15th Court
Coral Springs, FL 33071
License # CAC016157

Estimate

Date	Estimate #
11/7/2015	13014

Name / Address
Scotty Mac Construction 423 NW 48 Ave Deerfield Beach, FL 33442

\$ 25,567.00
20% 5,113.40
10% 2,556.70

P.O. No.	Terms	Project
	Net 30	La Veranda Resturant

Description	Qty	Remarks
Fresh air to existing main Crane Services Job Labor units Job Labor ductwork Misc materials TERMS: All Work Shall Be Done As Per Plans & Spec Total Comfort A/C Concrete Cutting & Core Drilling Is Not Included. Quote is firm for 15 days only due to increases in material cost Payment Terms 10% Down, Units COD when delivered, Balance as work progresses Permit and any related Cost Is Not Included Certified Test & Balance Report Is Not Included Wiring Is Not Included, We Will Do final Connections Of Low Voltage Only. Smoke detectors are not required by code and not included Guarantec-All Materials & Labor Are Guaranteed For A Period Of One Year From Startup Date. All Parts & Compressors Will Be Covered Under The Manufactures Warranty.	1	<i>Wiring By Electrician</i> <i>EXTRA. NOT INCL.</i>
Total		\$25,567.00

TERMS: Due and payable upon receipt. Past due amounts are subject to the maximum rate allowed by state law plus costs of collection including but not limited to attorney fees and court costs.

Phone #	Fax #	E-mail
954-753-3050		jsedeyn@yahoo.com

Licensee Details

Licensee Information

Name: **SEDEYN, JOSEPH J (Primary Name)**
TOTAL COMFORT AIR CONDITIONING INC (DBA Name)

Main Address: **8269 NW 15TH CT**
POMPANO BEACH Florida 33071

County: **BROWARD**

License Mailing:

LicenseLocation: **8269 NW 15TH CT**
POMPANO BEACH FL 33071

County: **BROWARD**

License Information

License Type: **Certified Air Conditioning Contractor**

Rank: **Cert Air**

License Number: **CAC016157**

Status: **Current,Active**

Licensure Date: **04/09/1980**

Expires: **08/31/2016**

Special Qualifications	Qualification Effective
Class A	
Construction Business	02/20/2004

Alternate Names

INDIVIDUAL

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Project Schedule La Veranda

Feb 4th : install of new front Signage
FEB 16 : install of new sign in parking area
MARCH 15Th demo of floor and install of new floor
April 5th: Building of bar area, bathrooms, finishes
MAY : linstall of Hvac units with duct work
June: install if elevator
Aug: install of sliding doors leading to patio

2016 FEB -5 PM 12:45
Pompano Beach CRA
notived

PROPERTY DESCRIPTION AND INFORMATION



Site Address	2121 E ATLANTIC BOULEVARD, POMPANO BEACH	ID #	4842 36 01 1920
Property Owner	AFL1965 LLC	Millage	1511
Mailing Address	2121 E ATLANTIC BLVD POMPANO BEACH FL 33062	Use	21

Abbreviated Legal Description	PINEHURST 5-13 B LOTS 24 & 25,BOTH LESS S 10 FOR ST BLK 14
-------------------------------	--

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

Property Assessment Values					
Click here to see 2015 Exemptions and Taxable Values as reflected on the Nov. 1, 2015 tax bill.					
Year	Land	Building	Just / Market Value	Assessed / SOH Value	Tax
2016	\$104,000	\$1,057,320	\$1,161,320	\$1,161,320	
2015	\$104,000	\$1,057,320	\$1,161,320	\$1,161,320	\$26,148.47
2014	\$104,000	\$1,057,320	\$1,161,320	\$1,161,320	\$26,273.34

IMPORTANT: The 2016 values currently shown are "roll over" values from 2015. These numbers will change frequently online as we make various adjustments until they are finalized on June 1. Please check back here AFTER June 1, 2016, to see the actual proposed 2016 assessments and portability values.

2016 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,161,320	\$1,161,320	\$1,161,320	\$1,161,320
Portability	0	0	0	0
Assessed/SOH	\$1,161,320	\$1,161,320	\$1,161,320	\$1,161,320
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$1,161,320	\$1,161,320	\$1,161,320	\$1,161,320

Sales History			
Date	Type	Price	Book/Page or CIN
7/20/2015	SW*-D	\$1,100,000	113124389
2/17/2010	QCD-T	\$100	46903 / 1381
2/2/2010	QC*-T	\$100	46855 / 702
9/1/1982	QCD	\$100	13395 / 267

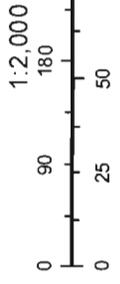
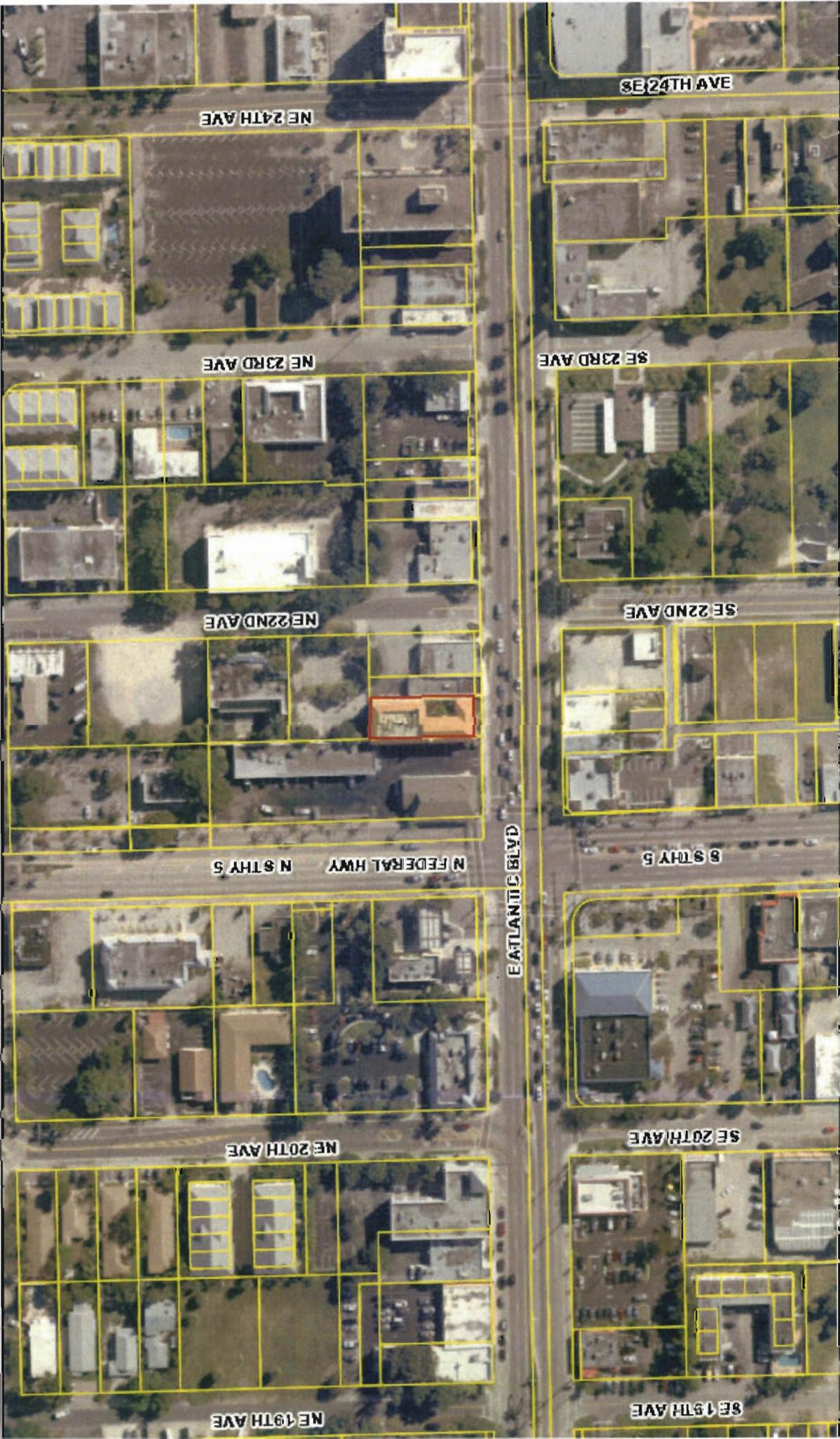
Land Calculations		
Price	Factor	Type
\$16.00	6,500	SF
Adj. Bldg. S.F. (Card, Sketch)		9956

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc

15								
C								
9956								

Property Id: 484236011920



arch 21, 2016
60 Parcels

Removal of existing 6^{ft} window with 8 Ft.
Full Sliding Doors





- Removal of ceiling tiles
- Demolition of Floor tiles, ceiling tiles
- Installation of 3 (5 ton) A/C units

REGULATORY INFORMATION



**CITY OF POMPANO BEACH
BUSINESS TAX RECEIPT
FISCAL YEAR: 2015-2016**

THIS IS NOT A BILL

Business Tax Receipt Valid from: October 1, 2015 through September 30, 2016

7/29/2015

4459336
LAVERANDA
2121 E ATLANTIC BL

POMPANO BEACH FL 33062

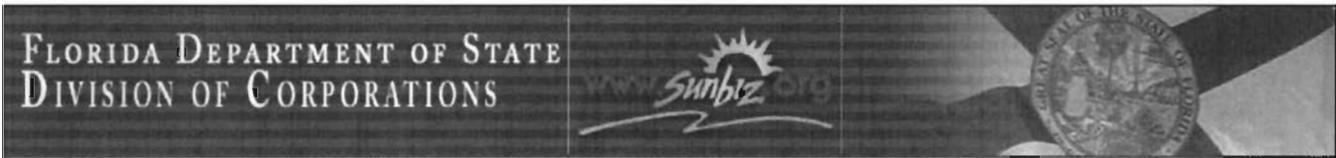
THIS IS YOUR BUSINESS TAX RECEIPT. PLEASE POST IN A CONSPICUOUS PLACE AT THE BUSINESS LOCATION.

BUSINESS OWNER:	BENAVALOLA LLC
BUSINESS LOCATION:	2121 E ATLANTIC BL POMPANO BEACH FL
REGISTRATION NO:	CLASSIFICATION
16-00086315	RESTAURANT-BEVERAGE ENCL FAC (SC 151+)

TICE: A NEW APPLICATION MUST BE FILED IF THE BUSINESS NAME, OWNERSHIP OR ADDRESS IS CHANGED. THE ISSUANCE OF A BUSINESS TAX RECEIPT SHALL NOT BE DEEMED A WAIVER OF ANY PROVISION OF THE CITY CODE NOR SHALL THE ISSUANCE OF A BUSINESS TAX RECEIPT BE CONSTRUED TO BE A JUDGEMENT OF THE CITY AS TO THE COMPETENCE OF THE APPLICANT TO TRANSACT BUSINESS.

BUSINESS TAX RECEIPTS EXPIRE SEPTEMBER 30TH OF EACH YEAR

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Fictitious Name Detail

Fictitious Name

LA VERANDA

Filing Information

Registration Number G15000069544
Status ACTIVE
Filed Date 07/03/2015
Expiration Date 12/31/2020
Current Owners 1
County BROWARD
Total Pages 1
Events Filed NONE
FEI/EIN Number 47-4090264

Mailing Address

2121 EAST ATLANTIC BLVD
POMPANO BEACH, FL 33062

Owner Information

BENAVALOLA LLC
 2121 EAST ATLANTIC BLVD.
 POMPANO BEACH, FL 33062
FEI/EIN Number: 47-4090264
Document Number: L15000084460

Document Images

07/03/2015 -- Fictitious Name Filing

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FLORIDA DEPARTMENT OF STATE
DIVISION OF CORPORATIONS



Detail by Entity Name

Florida Limited Liability Company

BENAVALOLA, LLC

Filing Information

Document Number L15000084460
FEI/EIN Number 47-4090264
Date Filed 05/12/2015
State FL
Status ACTIVE

Principal Address

2121 EAST ATLANTIC BLVD.
 POMPANO BEACH, FL 33062

Mailing Address

2121 EAST ATLANTIC BLVD.
 POMPANO BEACH, FL 33062

Registered Agent Name & Address

LATONA, GIUSEPPE
 2121 EAST ATLANTIC BLVD.
 POMPANO BEACH, FL 33062

Authorized Person(s) Detail

Name & Address

Title MGR

LATONA, GIUSEPPE
 1201 EAST SUNRISE BLVD UNIT 4-303
 FORT LAUDERDALE, FL 33304

Annual Reports

Report Year	Filed Date
2016	03/07/2016

Document Images

03/07/2016 -- ANNUAL REPORT

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05/12/2015 -- Florida Limited Liability

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PREPARED BY and RETURN TO:
Joel P. Koepfel, Esquire
Koepfel Law Group, P.A.
400 South Australian Avenue, Suite 300
West Palm Beach, Florida 33401

PCN: 484236-01-1900
484236-01-1920

SPECIAL WARRANTY DEED

THIS DEED, dated as of the 20th day of July, A.D., 2015, by and between **FRANCO ANTIMUCCI** and **LINDA ANTIMUCCI**, his wife, as to an undivided one-half interest and **GIANPIERO DAVERIO**, as to an undivided one-half interest, whose address is 3751 NE 26th Avenue, Lighthouse Point, Florida 33064, hereinafter called the Grantor, and **AFL1965, LLC**, a Florida limited liability company, whose address is 2121 East Atlantic Blvd., Pompano Beach, Florida 33062 hereinafter called the Grantee.

WITNESSETH: That for the sum of Ten Dollars (\$10.00) and other good and valuable considerations, said Grantor does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee all that certain piece of property and tract of land situate in the County of Broward, and State of **FLORIDA**, described as:

SEE LEGAL DESCRIPTION ATTACHED HERETO AS EXHIBIT "A"

SUBJECT TO comprehensive land use plans, zoning, restrictions, prohibitions and other requirements imposed by governmental authority; restrictions and matters appearing on the plat or otherwise common to the subdivision; public utility easements of record; provided, however, nothing contained therein shall reimpose any of the same; and taxes for the year **2015** and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the said Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said Grantor.

THIS IS NOT THE HOMESTEAD PROPERTY OF THE GRANTOR. IT IS COMMERCIAL PROPERTY.

IN WITNESS WHEREOF, the Grantor does hereunto sets their hands and seals the day and year aforesaid.

Signed, sealed and delivered in the presence of:

Sign: [Signature]

Print: JUGL P. KOEPEL

Sign: [Signature]

Print: JEFF S. SASSANO

Sign: [Signature]

Print: Sally Ollarvide

[Signature]

Franco Antimucci

[Signature]

Linda Antimucci

[Signature]
Gianpiero Daverio

STATE OF FLORIDA
COUNTY OF PALM BEACH

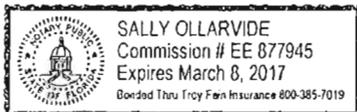
The foregoing instrument was sworn to and acknowledged before me this 20th day of July, 2015, by Franco Antimucci and Linda Antimucci, his wife who () are personally known to me, or who () presented Fl. Driver's Lic. as identification, and who did [did not] take an oath.



[Signature]
NOTARY PUBLIC
My Commission Expires: _____

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was sworn to and acknowledged before me this 20th day of July, 2015, by Gianpiero Daverio who () is personally known to me, or who () presented Fl. Driver's Lic as identification, and who did [did not] take an oath.



[Signature]
NOTARY PUBLIC
My Commission Expires: _____

LEGAL DESCRIPTION

PARCEL 1

Lots 16, 17 and 25, Block 14, of PINEHURST, according to the Plat thereof, recorded in Plat Book 5, Page 13, of the Public Records of Broward County, Florida, LESS and EXCEPT the South 10 feet of Lot 25, as conveyed to the City of Pompano Beach in Official Records Book 15785, at Page 765.

and

PARCEL 2

Lot 24, Block 14, of PINEHURST, according to the Plat thereof, recorded in Plat Book 5, Page 13, of the Public Records of Broward County, Florida, LESS and EXCEPT the South 10 feet as conveyed to the City of Pompano Beach in Official Records Book 15785, at Page 765.

EXHIBIT "A"



**CITY OF POMPANO BEACH
BUSINESS TAX RECEIPT
FISCAL YEAR: 2015-2016**

THIS IS NOT A BILL

Business Tax Receipt Valid from: October 1, 2015 through September 30, 2016

8/18/2015

4459334
AFL1965 LLC
2121 E ATLANTIC BL

POMPANO BEACH FL 33062

THIS IS YOUR BUSINESS TAX RECEIPT. PLEASE POST IN A CONSPICUOUS PLACE AT THE BUSINESS LOCATION.

BUSINESS OWNER: AFL1965 LLC
BUSINESS LOCATION: 2121 E ATLANTIC BL POMPANO BEACH FL

REGISTRATION NO: 16-00086312 **CLASSIFICATION:** RENTAL BUILDING-COMML,BLDG LEASE/RENT

NOTICE: A NEW APPLICATION MUST BE FILED IF THE BUSINESS NAME, OWNERSHIP OR ADDRESS IS CHANGED. THE ISSUANCE OF A BUSINESS TAX RECEIPT SHALL NOT BE DEEMED A WAIVER OF ANY PROVISION OF THE CITY CODE NOR SHALL THE ISSUANCE OF A BUSINESS TAX RECEIPT BE CONSTRUED TO BE A JUDGMENT OF THE CITY AS TO THE COMPETENCE OF THE APPLICANT TO TRANSACT BUSINESS.

BUSINESS TAX RECEIPTS EXPIRE SEPTEMBER 30TH OF EACH YEAR

FLORIDA DEPARTMENT OF STATE
DIVISION OF CORPORATIONS



Detail by Entity Name

Florida Limited Liability Company

AFL1965, LLC

Filing Information

Document Number L15000083353
FEI/EIN Number 47-4079627
Date Filed 05/12/2015
State FL
Status ACTIVE

Principal Address

2121 E ATLANTIC BLVD
 POMPANO BEACH, FL 33062

Mailing Address

2121 E ATLANTIC BLVD
 POMPANO BEACH, FL 33062

Registered Agent Name & Address

LATONA, GIUSEPPE
 1201 E SUNRISE BLVD UNIT 4-303
 FT LAUDERDALE, FL 33304

Authorized Person(s) Detail

Name & Address

Title MGR

LA TONA, GIUSEPPE
 1201 E SUNRISE BLVD UNIT 4-303
 FT LAUDERDALE, FL 33304

Annual Reports

Report Year	Filed Date
2016	03/07/2016

Document Images

03/07/2016 -- ANNUAL REPORT

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05/12/2015 -- Florida Limited Liability

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DISPLAY THIS CARD IN A PROMINENT LOCATION
CITY OF POMPANO BEACH
BUILDING PERMIT

Permit Number: 15-00006035
 Owner/Contractor: SCOTTY MAC CONSTRUCTION INC
 Purpose: interior remodel
 Job Address: 2121 E ATLANTIC BL
 Folio: 8236-01-14- 24 002121
 Subdivision: PINEHURST



“WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT”

DO NOT REMOVE THIS CARD BEFORE THE WORK IS COMPLETED
 CERTIFICATE OF OCCUPANCY MUST BE SECURED BEFORE THIS BUILDING CAN BE USED FOR ANY PURPOSE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS CITY OR COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANagements DISTRICT, STATE AGENCIES OR FEDERAL AGENCIES

STRUCTURAL			FIRE MARSHAL			MECHANICAL		
Inspection	Init.	Date	Inspection	Init.	Date	Inspection	Init.	Date
Set-up / Tie Down			Alarm Rough			Air-conditioning		
Soil Compaction			Alarm Final			Slab		
Soil Treatment			Pump Test			Stand/Curb		
Pile Cap / Log			Sprinkler Rough			Rough		
Footing			Sprinkler Final			Hood Rough		
Footing			Fire Suppression			Paint Booth Rough		
Slab			Suppression Sys.			Fire System		
Slab			Temporary C/O			Ventilation		
Columns			Site Final			Piping		
Tie Beam						Risers		
Truss / Joist			FINAL			Chiller System		
Roof Sheathing			LANDSCAPE / LAND USE			Refrigeration		
Wall Sheathing			Inspection	Init.	Date	Cooler		
Tin Cap			Parking			Pneumatic System		
Mop			Trees			Vacuum Rough		
Shingle / Tile			Hedges			Hood Final		
Wall Framing			Sod			Paint Booth Final		
Ceiling Framing						Vacuum Final		
Ceiling Grid								
Roof Framing			FINAL			FINAL		

NO INSPECTIONS WILL BE MADE UNLESS THIS PERMIT CARD IS DISPLAYED AND APPROVED PLANS ARE READILY AVAILABLE