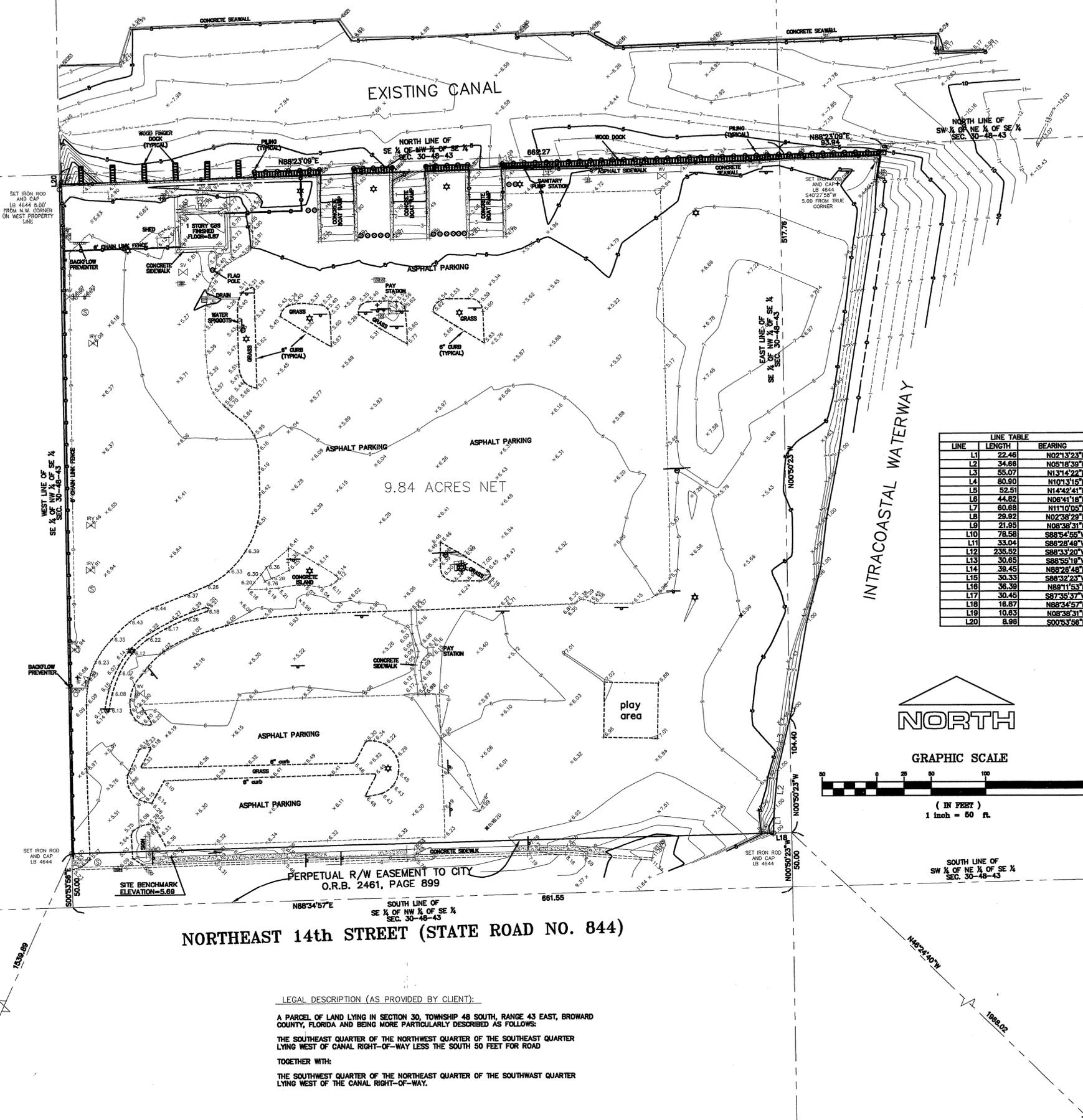




**BOUNDARY SURVEY  
OF LANDS LOCATED IN  
SECTION 30, TOWNSHIP 48 SOUTH,  
RANGE 43 EAST  
BROWARD COUNTY, FLORIDA  
DREDGED MATERIAL MANAGEMENT AREA  
MSA-FO-727-B  
ALSDORF PARK**



**ABBREVIATIONS AND SYMBOLS**

IRC LB NO. R/W CM MEAS. P.U.D.E. FD. O.R.B. P.R.M. P.C.P. BM F.F. ELEV. E.O.P. R L I.D. SEC. TWP. RGE. CH. CHB.	IRON ROD AND CAP LICENSED BUSINESS NUMBER RIGHT OF WAY CONCRETE MONUMENT MEASURED PUBLIC UTILITY AND DRAINAGE EASEMENT FOUND OFFICIAL RECORD BOOK PERMANENT REFERENCE MONUMENT PERMANENT CONTROL POINT BENCHMARK FINISH FLOOR ELEVATION EDGE OF PAVEMENT RADIUS DELTA LENGTH IDENTIFICATION SECTION TOWNSHIP RANGE CHORD CHORD BEARING	OAK PINE PALM SHRUB MAPLE CITRUS ELM MISC. TREE	SANITARY MANHOLE DRAINAGE MANHOLE WELL HYDRANT WATER VALVE WATER METER CLEANOUT CATCH BASIN CURB INLET REUSE WATER VALVE IRRIGATION VALVE YARD DRAIN PROPOSED DRAINAGE	SIGN LIGHT POLE MAIL OR PAPERBOX SOUTHERN BELL BOX CABLE TV BOX POWERPOLE ELECTRIC BOX UNDERGROUND UTILITIES SIGN MONITORING WELL SANITARY VALVE TELEPHONE MANHOLE POST WOOD OR STEEL CONCRETE POWER POLE
---	---	--	--	---

LINE	LENGTH	BEARING
L1	22.46	N021°3'23"E
L2	34.68	N05°16'38"E
L3	55.07	N13°14'22"E
L4	80.90	N10°13'16"E
L5	52.57	N14°42'41"E
L6	44.82	N08°41'18"E
L7	60.68	N11°10'05"E
L8	28.92	N02°38'28"E
L9	21.95	N08°38'31"E
L10	78.58	S88°54'55"W
L11	33.04	S86°28'48"W
L12	235.52	S86°33'20"W
L13	30.65	S89°55'10"W
L14	39.45	S89°28'48"E
L15	30.33	S89°32'23"W
L16	36.39	N89°11'53"E
L17	30.45	S87°35'37"W
L18	18.87	N88°34'57"E
L19	10.83	N08°38'31"E
L20	8.98	S00°53'58"E

**REPORT OF SURVEY:**

• **TYPE OF SURVEY:** BOUNDARY

• **SURVEYOR IN RESPONSIBLE CHARGE:** ROD REED P.S.M. 3916

• **MASTELLER, MOLER & REED, INC.** CERTIFICATE OF AUTHORIZATION L.B. 4644  
1855 27TH STREET SUITE 2  
VERO BEACH, FLORIDA 32960 - PHONE (772) 564-8050

• THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO THE SURVEY MAP AND/OR REPORT OF SURVEY BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

• **HORIZONTAL CONTROL ACCURACY:** THE EXPECTED USE OF THE SURVEY MAP AND REPORT FOR THE LAND, AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (61G17-6.003(E) FAC) IS SUBURBAN THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO MEET OR EXCEED THIS REQUIREMENT.

• **HORIZONTAL FEATURE ACCURACY:** TOPOGRAPHIC LAND FEATURES (SIGNS, INLETS, VALVES, MAILBOXES, POWERPOLES, DRIVEWAYS, CULVERTS AND SIMILAR FEATURES) HAVE A HORIZONTAL FEATURE ACCURACY OF PLUS OR MINUS 0.25 FEET.

• **VERTICAL CONTROL ACCURACY:** VERTICAL CONTROL AS ESTABLISHED FOR THIS PROJECT SITE IS ACCURATE TO PLUS OR MINUS 0.05 FEET TIMES THE SQUARE ROOT OF THE DISTANCE IN MILES.

• **VERTICAL FEATURE ACCURACY:** ELEVATIONS ON THE SITE (GROUND, PAVEMENT, INLETS, ETC.) HAVE A VERTICAL FEATURE ACCURACY OF PLUS OR MINUS 0.10 FEET.

• **FIELD WORK WAS OBTAINED DURING THE FOLLOWING TIME FRAME OR DATE:** 8/25/2003 THRU 02/06/04

• **THE BEARING BASE FOR THIS SURVEY IS AS FOLLOWS:**  
A) GRID NORTH  
B) THE BEARING BETWEEN BROWARD COUNTY GPS CONTROL POINT N-12 AND BROWARD COUNTY GPS CONTROL POINT O-12  
C) THE BEARING IS N88°43'15"E

• **THE ELEVATIONS AS SHOWN ON THIS SURVEY ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929, THE REFERENCED BENCHMARK FOR THIS SURVEY IS BROWARD COUNTY BENCHMARK #644 ELEVATION=5.91 SET BY WILLIAMS HATFIELD & STONER THE SITE BENCHMARK IS ON TOP OF A NAIL, NO IDENTIFICATION, IN THE NORTH SIDE OF A CONCRETE SIDEWALK 38' EAST OF ENTRANCE. ELEVATION=5.69**

• **NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN. NO TITLE OPINION IS EXPRESSED OR IMPLIED.**

• **THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR LOCATION OF ANY FOUNDATIONS, UTILITIES, UNDERGROUND ENCROACHMENTS OR IMPROVEMENTS EXCEPT AS SHOWN.**

• **UNLESS A COMPARISON IS SHOWN, PLAT VALUES & MEASURED VALUES ARE THE SAME.**

• **ALL MEASUREMENTS ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE IN ACCORDANCE WITH THE STANDARDS OF THE UNITED STATES.**

• **ALL SET REBAR AND CAPS STAMPED LB 4644 OR PSM 3916 ARE 1/2" IN DIAMETER AS REQUIRED BY THE MINIMUM TECHNICAL STANDARDS.**

• **THE HORIZONTAL VALUES SHOWN HEREON REFER TO THE STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, NAD 83 (NGS ADJUSTMENT OF 1980). MONUMENTATION USED FOR ESTABLISHMENT OF STATE PLANE COORDINATES**  
BROWARD COUNTY BROWARD COUNTY  
GPS CONTROL POINT GPS CONTROL POINT  
N-12 O-12  
N 696329.8380 N 696390.6820  
E 952957.4740 E 955882.5870

• **THE TRUE MEAN HIGH WATER LINE WAS NOT LOCATED IN CONFORMANCE TO CHAPTER 177 PART II, THE COASTAL MAPPING ACT.**

• **THIS SURVEY CONSISTS OF THREE (3) SHEETS AND IS NOT VALID OR COMPLETE WITHOUT ALL THREE.**

**NORTHEAST 14th STREET (STATE ROAD NO. 844)**

**LEGAL DESCRIPTION (AS PROVIDED BY CLIENT):**

A PARCEL OF LAND LYING IN SECTION 30, TOWNSHIP 48 SOUTH, RANGE 43 EAST, BROWARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER LYING WEST OF CANAL RIGHT-OF-WAY LESS THE SOUTH 50 FEET FOR ROAD

TOGETHER WITH:

THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER LYING WEST OF THE CANAL RIGHT-OF-WAY.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

DAVID M. TAYLOR P.S.M. 5243

MAP OF SURVEY FOR

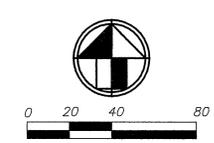
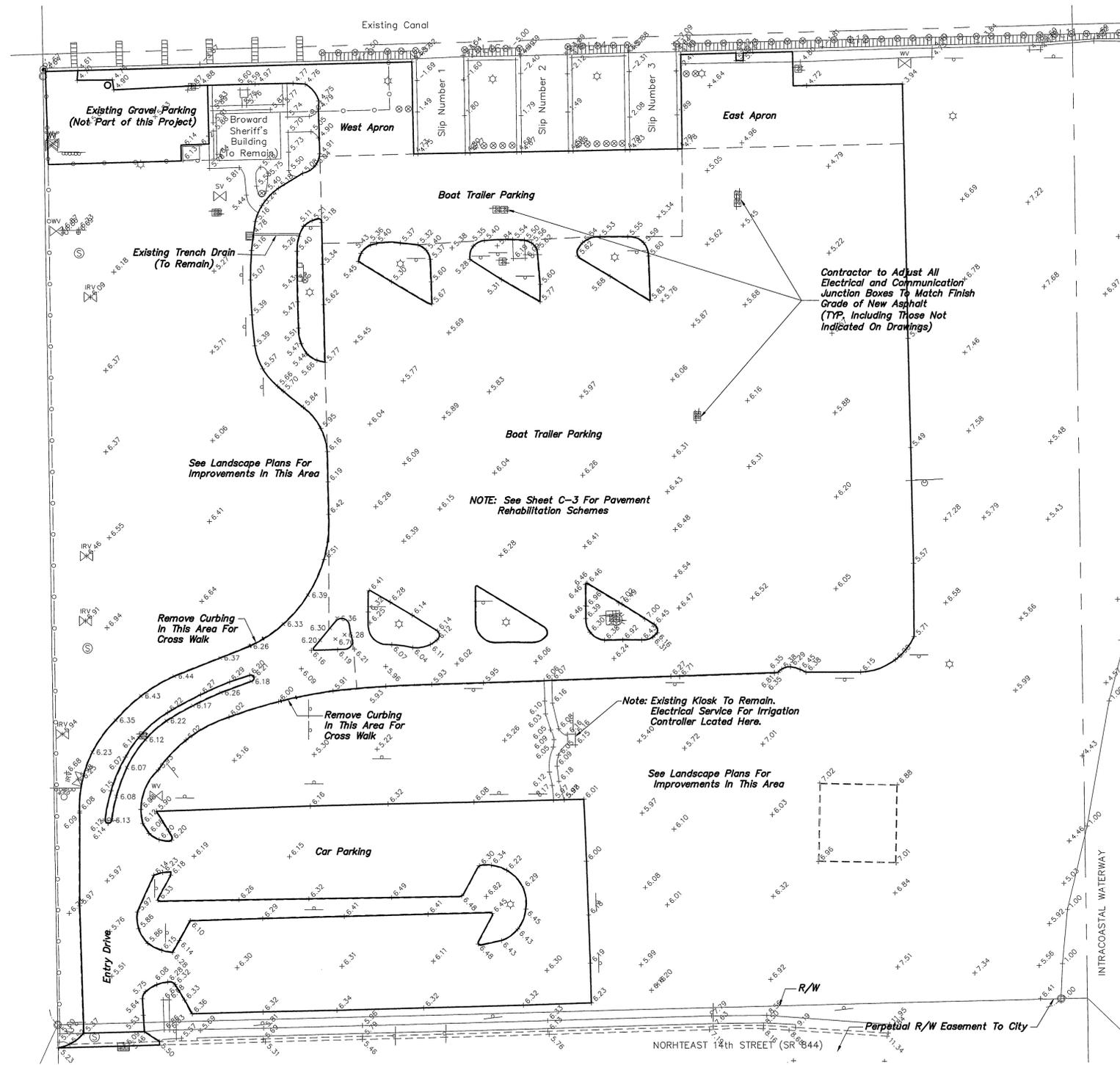
**FLORIDA INLAND NAVIGATION DISTRICT  
UNDER CONTRACT TO  
TAYLOR ENGINEERING**

**MASTELLER, MOLER & REED, INC.**  
PROFESSIONAL SURVEYORS AND MAPPERS  
LAND SURVEYING BUSINESS #4644  
1655 27th Street suite 2 Vero Beach, Florida 32960 (772) 564-8050

REVISION 3/11/05 PER ENGINEERS COMMENTS GS

TYPE: BOUNDARY  
DATE: 7/03/2003  
PROJECT NO.: 03-5178  
DRAWN BY: C.J.G.  
CHECKED BY: RR  
SCALE: 1"=50'

FB. 343 PG. 50+  
SHEET: 3 OF 3



**SITE PLAN INFORMATION**

LAND USE DESIGNATION	COMMUNITY FACILITY
FLOOD ZONE	X/AH (EL: 6.00)
TOTAL EXISTING AREA	428,630 SF
PROJECT SITE AREA	9.84 AC
WATER SERVICE PROVIDER	CITY OF POMPANO BEACH
SEWER SERVICE PROVIDER	CITY OF POMPANO BEACH

BUILDING	AREA (SF)	OCCUPANCY
EXISTING BUILDING	1200	GROUP B
CONSTRUCTION TYPE	-----(N/A)----	

**PARKING**

EXISTING SPACES:	
REGULAR SPACES	84
HANDICAPPED SPACES	4
BOAT TRAILER SPACES	80
TOTAL EXISTING SPACES	168

PROPOSED SPACES:	
REGULAR SPACES	84
HANDICAPPED SPACES	4
BOAT TRAILER SPACES	80
TOTAL EXISTING SPACES	168

**NOTE:**  
PARKING REFLECTS NO NET CHANGES IN ENTIRE PARK.

**SITE LOCATION**

SECTION	30
TOWNSHIP	48S
RANGE	43E

**SFWM ERP DATA**

ENTIRE SITE	9.84 AC
EXISTING PERVIOUS AREA	5.27 AC
EXISTING IMPERVIOUS AREA	4.57 AC

**LAND USE AND COVER:** EXISTING USE IS COMMUNITY FACILITY. COVER IS MISCELLANEOUS SODDED AREAS WITH CONCRETE AND ASPHALT PAVED AREAS. PROPOSED USE IS COMMUNITY FACILITY. PROPOSED COVER IS SIMILAR TO EXISTING.

**DISPOSAL OF EXCAVATED MATERIAL:** EXCAVATED MATERIAL TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS.

**FLUCCS CLASSIFICATION:** 180 RECREATIONAL

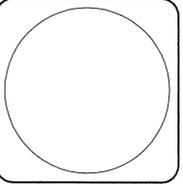
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THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER LYING WEST OF CANAL RIGHT-OF-WAY LESS THE SOUTH 50 FEET FOR ROAD

TOGETHER WITH:  
THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER LYING WEST OF THE CANAL RIGHT-OF-WAY.



**Architects  
Engineers  
Planners**  
3996 N.W. 9th Avenue  
Ft. Lauderdale, FL 33309  
Voice: 954.565.2113 Fax: 954.567.4079  
AAC002142 EBO005022



Terrance N. Glunt, PE

**ALSDORF PARK  
PARKING LOT REHAB**  
2901 NORTHEAST 14th STREET  
POMPANO BEACH, FLORIDA

**JOB NUMBER**  
1628-005

**FILE No. :**  
**DRAWN :** J.G.R.  
**REVIEWED :** J.S.C.  
**CHECKED :** T.N.G.

**DATE :** 7-25-06

**ISSUE/REVISIONS**  
1 08-04-06 Staff Comments

NO.	DATE	DESCRIPTION

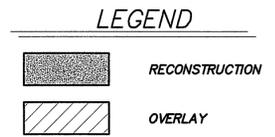
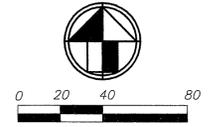
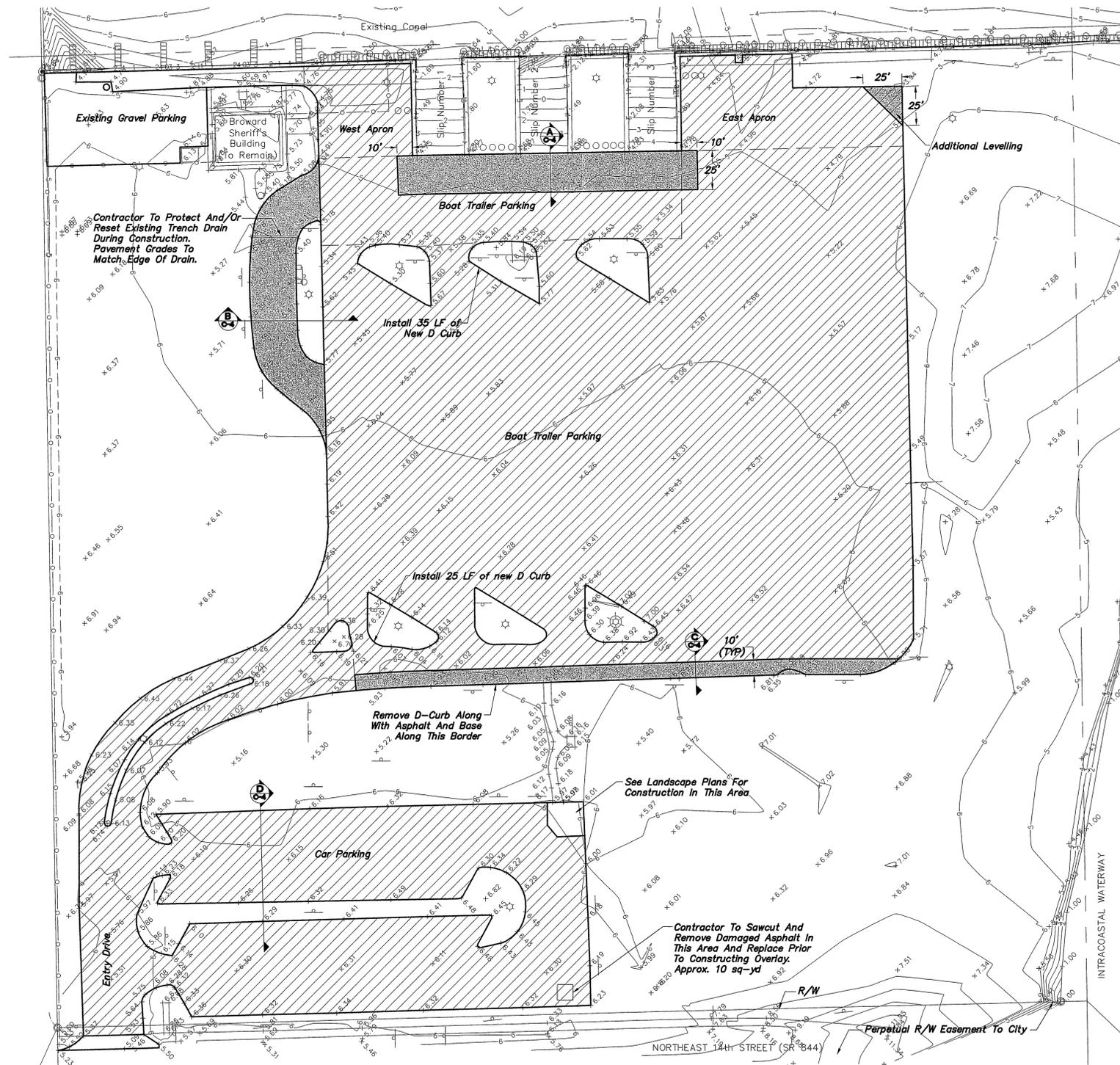
**SHEET TITLE**

SITE PLAN

**SHEET NUMBER**

C-1

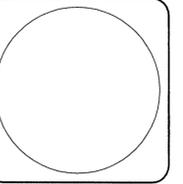




- NOTES:**
1. New D-Curb To Replace Missing Or Broken Sections As Shown On Plans To Match In Style And Shape.
  2. As Per Section VIII On Sheet C-6, Contractor Shall Maintain At Least One Boat Ramp And Two Rows Of Boat Trailer Parking At All Times During Construction.
  3. Noted Levelling Areas Include "Bird Baths" In Car Parking Lot And West Apron Areas As Well As Others As Delineated By The Engineer. Contractor To Assume 40 Tons Type "S" Asphalt In Bid.



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AAC002142 EB0005022



Terrance N. Glunt, PE

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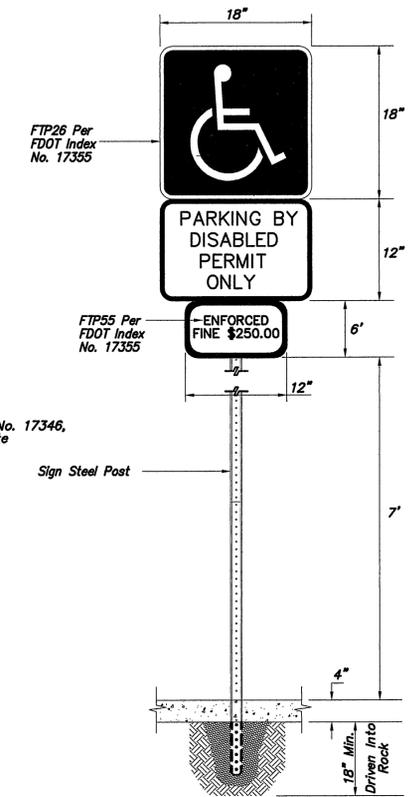
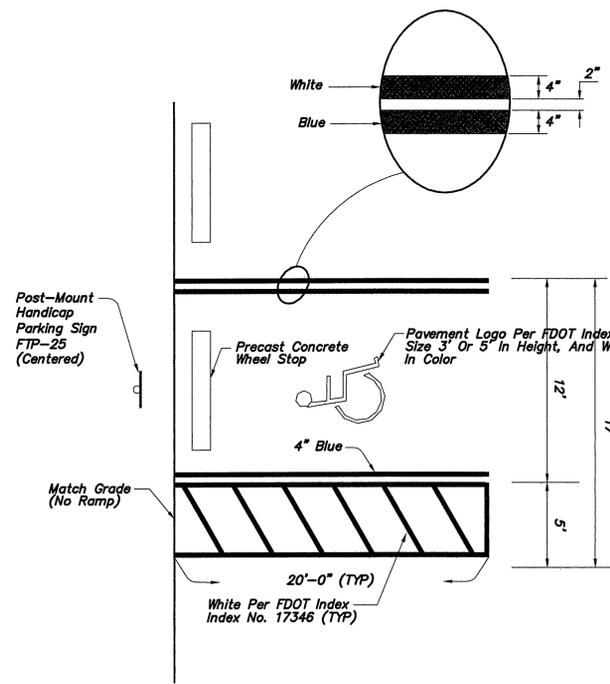
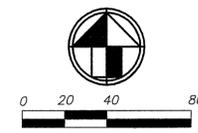
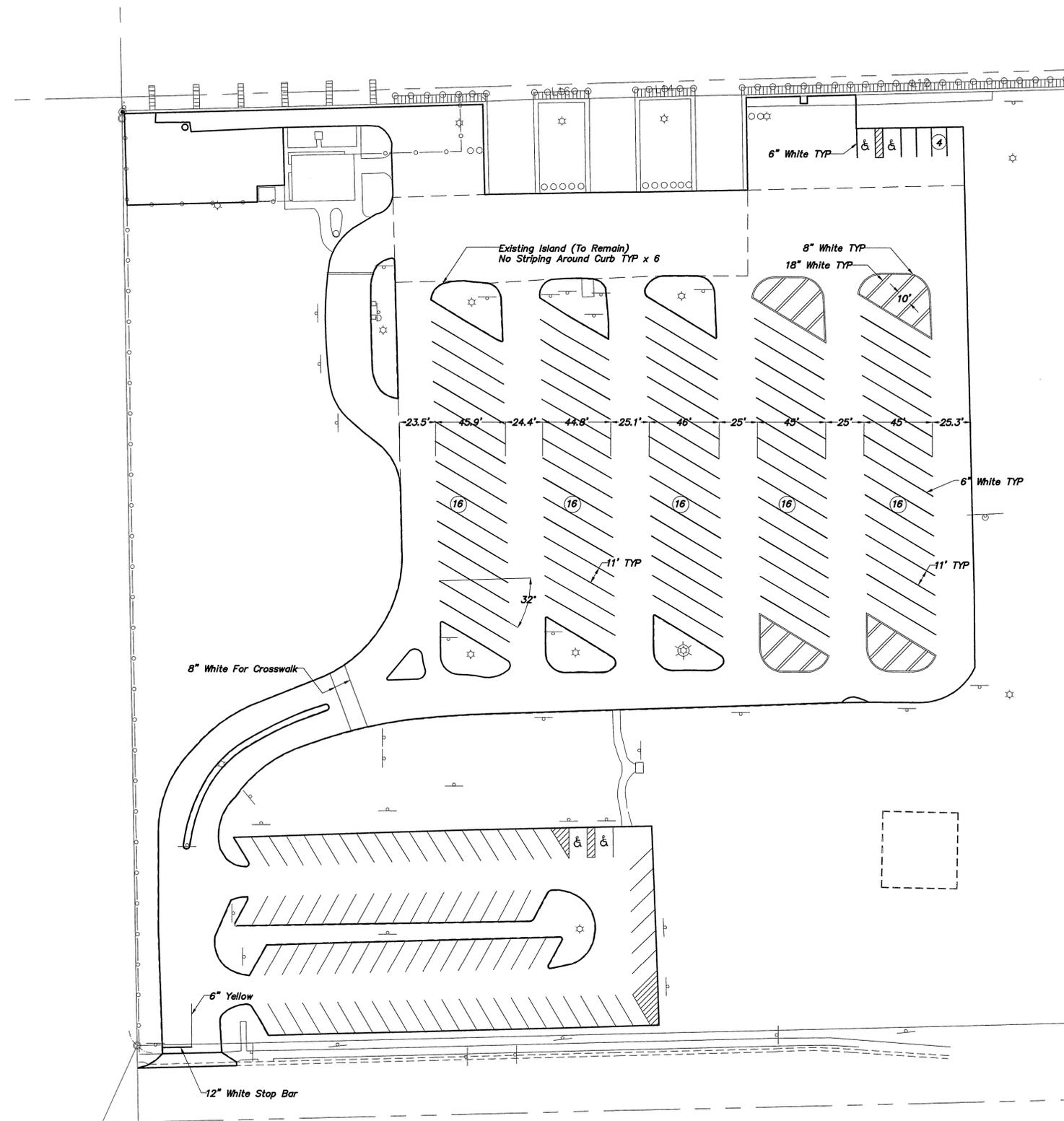
ISSUE/REVISIONS

<b>1</b>	<b>08-04-06</b>	Staff Comments

SHEET TITLE  
PAVING, GRADING,  
DRAINAGE PLAN  
SHEET NUMBER

**C-3**



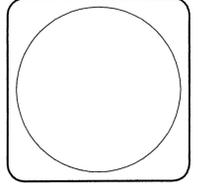


- NOTE:**
- ① Top portion of FTP 26 shall have a reflective blue background with white reflective symbol and border.
  - ② Bottom portion shall have a reflective white background with black opaque legend and border.
  - ③ Min. 7' from top of pavement to bottom of sign. (Typ.)

**1** TYPICAL HANDICAP PARKING STALL DETAIL N.T.S.



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AAC002142 EB0005022



Terrance N. Glunt, PE

**ALSDORF PARK  
PARKING LOT REHAB**  
2901 NORTHEAST 14th STREET  
POMPANO BEACH, FLORIDA

JOB NUMBER  
**1628-005**  
FILE No. :  
DRAWN : J.G.R.  
REVIEWED: J.S.C.  
CHECKED : T.N.G.  
DATE : 7-25-06  
ISSUE/REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE  
**PAVEMENT  
MARKING PLAN**  
SHEET NUMBER  
**C-5**

GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES:

- A. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF POMPANO BEACH DEPARTMENT OF PUBLIC WORKS BROWARD COUNTY, AND ALL OTHER LOCAL, STATE AND NATIONAL CODES WHERE APPLICABLE.
- B. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- C. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NATIONAL GEODETICAL VERTICAL DATUM OF 1929, (N.G.V.D.), UNLESS OTHERWISE NOTED.
- D. THE CITY OF POMPANO BEACH HAS A NOISE ORDINANCE WHICH WILL NOT PERMIT CONSTRUCTION WORK BEYOND ACCEPTABLE NOISE LEVELS BEFORE 7.00 AM IN THE MORNING.

II. PRECONSTRUCTION RESPONSIBILITIES:

- A. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING AN EXCAVATION, CALL 1-800-432-4770.
- B. ALL CONSTRUCTION EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION. (IF REQUIRED)
- C. LOCATION OF EXISTING FACILITIES AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. VERIFY, IF POSSIBLE, THE ELEVATIONS AND LOCATION OF EXISTING FACILITIES PRIOR TO CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION UPON EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE PROBLEM.
- D. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE PERMIT(S) PRIOR TO START OF CONSTRUCTION.

III. INSPECTIONS:

- A. THE CONTRACTOR SHALL NOTIFY THE CITY, THE ENGINEER OF RECORD AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 1 BUSINESS DAY PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:
  - 1. CLEARING AND GRUBBING
  - 2. DEMOLITION
  - 3. CONCRETE CURBING
  - 4. ASPHALT PAVEMENT
  - 5. STRIPING
  - 6. FINAL

IV. SHOP DRAWINGS:

- A. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE CITY AND THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: CONCRETE MIX DESIGN, ASPHALT MIX DESIGN, PAVEMENT MARKINGS LANDSCAPING COMPONENTS.

V. TEMPORARY FACILITIES:

- A. TEMPORARY FACILITIES -  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY AS NEEDED.

VI. PROJECT CLOSEOUT:

- A. CLEANING UP -
  - 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
  - 2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THAT END, THE CONTRACTORS SHALL DO AS REQUIRED, ALL NECESSARY HIGHWAY, DRIVEWAY, WALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATIONS.
  - 3. WHERE MATERIALS OR DEBRIS HAS WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- B. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTORS EXPENSE.

- C. ALL UNPAVED SURFACES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

D. PROJECT RECORD DOCUMENTS -

- 1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
- 2. THE CONTRACTOR SHALL SUBMIT PROGRESS PHOTOS MONTHLY DURING CONSTRUCTION. THE PHOTOS SHALL BE AERIAL SUBMITTED IN HARD COPY ON 8X10 FORMAT. CONTRACTOR SHALL INCLUDE PRE-CONSTRUCTION AND POST CONSTRUCTION PHOTOS.
- 3. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD TWO COMPLETE SETS OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS, LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS. AS-BUILTS WILL BE REQUIRED FOR UTILITIES, DRAINAGE AND GRADING, ELECTRICAL, FINISHED ASPHALT AND LIMEROCK BASE.

VII. EARTHWORK

- A. ASPHALT CORE REPORTS.
  - 1. THE ASPHALT PAVEMENT WAS CORED AT VARIOUS LOCATIONS AND THE RESULTS ARE INDICATED ON SHEET C-2.
- B. GENERAL SITE EARTHWORK.
  - 1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145 FOUND WITHIN THE PROPOSED FULL ASPHALT RECONSTRUCTION AREAS, SHALL BE REMOVED DOWN TO SUITABLE MATERIAL AND REPLACED WITH THE SPECIFIED FILL MATERIAL.
- C. MATERIAL.
  - 1. IMPORTED BACKFILL SHALL BE A SAND, OR SAND-ROCK MIXTURE ROCK SIZES LESS THAN 3" IN DIAMETER OR AS PERMITTED BY THE ENGINEER. THIS MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, OR A-2-4 IN ACCORDANCE WITH AASHTO M-145.

VIII. CONSTRUCTION:

- A. GENERAL:
  - 1. ALL CONSTRUCTION SHALL BE PERFORMED BY MEANS AND METHODS IN ACCORDANCE WITH SOUND TECHNIQUES AS IS CONSIDERED STANDARD IN THE INDUSTRY, THROUGHOUT SOUTH FLORIDA. SPECIALTY CONSTRUCTION TECHNIQUES SHALL BE APPROVED BY THE ENGINEER.
  - 2. COORDINATE WITH CITY FOR THE SCHEDULING OF ALL WORK TO BE PERFORMED BY CITY WORK FORCES, IF APPLICABLE.
  - 3. COORDINATE THE MODIFICATION OR RELOCATION OF ALL UTILITY VALVES, ELECTRICAL JUNCTION BOXES, CATCH BASINS, ETC. WITH THE CITY OF POMPANO BEACH UTILITY DEPARTMENT. PROVIDE 48 HOURS NOTICE TO THE DEPARTMENT PRIOR TO ANY WORK REQUIRING THEIR INVOLVEMENT.
  - 4. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% A MINIMUM CROSS SLOPE OF 0.5%, AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.
- B. MATERIALS
  - 1. CONCRETE USED FOR SIDEWALK AND CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 psi @ 28 DAYS.
  - 2. LIMEROCK BASE SHALL BE FDOT APPROVED LIMEROCK MAT'L WITH MINIMUM LBR VALUE OF 100 AND MINIMUM CARBONATE CONTENT OF 70 PERCENT.
  - 3. STABILIZED SUBGRADE TO HAVE MINIMUM LBR VALUE OF 40.
  - 4. TRAFFIC STRIPES TO BE FDOT APPROVED THERMOPLASTIC TRAFFIC WHITE AND YELLOW.
  - 5. ASPHALT SHALL BE TYPE S IN ACCORDANCE WITH FDOT SPECIFICATIONS

C. FIELD QUALITY CONTROL:

- 1. THE CONTRACTOR SHALL PERFORM QUALITY CONTROL TESTING ON MATERIALS TO ENSURE THAT THEY MEET THE MINIMUM REQUIREMENTS OF THESE CONTRACT DOCUMENTS. THE CONTRACTOR WILL ENGAGE AND PAY FOR A QUALIFIED INDEPENDENT TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING FOR CONCRETE AND EARTHWORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING ALL TESTING AS NEEDED WITH THE CONTRACTOR, THE OWNER, THE ENGINEER OR ARCHITECT AND THE TESTING AGENCY.
- 2. ALLOW TESTING AGENCY TO INSPECT AND TEST SUB GRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS
- 3. TESTING AGENCY WILL TEST COMPACTING OF SOILS IN PLACE ACCORDING TO ASTM D 1557, ASTM D 2167, ASTM D 2922, AND ASTM D 2937, AS APPLICABLE. TESTS WILL BE PERFORMED AT THE SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER. AT LEAST ONE TEST FOR EVERY 2000 SQ. FT. (188 SQ. M) OR LESS OF PAVED AREA OR SIDEWALK SLAB AND AT LEAST ONE TEST FOR EVERY 100' OF CURB AND GUTTER, BUT IN NO CASE FEWER THAN THREE TESTS
- 4. WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.

- 5. TESTS FOR CONCRETE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM). TESTS SHALL CONFORM TO THE FOLLOWING:
  - A. NOT LESS THAN FOUR SPECIMENS SHALL BE MADE FOR EACH STANDARD TEST, NOR LESS THAN ONE TEST FOR EACH 50 CUBIC YARDS OF CONCRETE USED, NOR LESS THAN ONE TEST FOR EACH DAY THAT CONCRETE IS CAST.
  - B. SPECIMENS SHALL BE MADE AND CURED IN ACCORDANCE WITH THE STANDARD METHOD OF MAKING AND CURING CONCRETE COMPRESSION AND FLEXURE TEST SPECIMENS IN THE FIELD, ASTM C31-84.
  - C. SPECIMENS SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD METHOD OF TEST FOR COMPRESSION STRENGTH OF MOLDED CONCRETE CYLINDERS, ASTM C39-84. REPORTS TO THE ENGINEER SHALL BE SUBMITTED FOR EACH TEST PERFORMED.
  - D. TEST CYLINDERS TAKEN OFF TRUCK-MIXED CONCRETE SHALL BE TAKEN AT THE APPROXIMATE ONE-QUARTER POINT AND THE THREE-QUARTER POINT OF THE LOAD.

D. INSTALLATION:

- 1. LIMEROCK BASE TO BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO T-180.
- 2. STABILIZED SUBGRADE TO BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO T-180.
- 3. SIDEWALK SUBGRADE TO BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO T-180.

VII. MAINTENANCE OF TRAFFIC

- 1. PROVIDE MAINTENANCE OF TRAFFIC OPERATIONS THROUGHOUT THE DURATION OF DEMOLITION AND RECONSTRUCTION FOR ANY GIVEN SECTION OF ROADWAY.
- 2. TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH PROJECT PLANS, THE FLORIDA DOT. ROADWAY AND TRAFFIC DESIGN STANDARD INDEXES (600 SERIES)(LATEST EDITION). THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS MINIMUM CRITERIA.
- 3. FOR GENERAL MOT REQUIREMENTS AND ADDITIONAL INFORMATION REFER TO SERIES NO. 600. ROADWAY AND TRAFFIC DESIGN STANDARDS.
- 4. THE CONTRACTOR SHALL SUBMIT A MAINTENANCE OF TRAFFIC (MOT) CONTROL PLAN TO THE ENGINEER FOR APPROVAL. THE MOT SUBMITTAL SHALL ESTABLISH THE INTENDED SCHEDULE OF TRAFFIC DISRUPTIONS, AS WELL AS THE INTENDED PLAN FOR TRAFFIC CONTROL. THE TRAFFIC CONTROL PLAN SHALL INDICATE THE INTENDED TRAFFIC CONTROL DEVICES, SPACING, SIGNAGE, ETC. AS NECESSARY TO FULLY DESCRIBE THE INTENDED MOT SETUP. THE MOT SUBMITTAL SHALL BE MADE IN A TIMELY FASHION TO ALLOW FOR APPROVAL TO BE OBTAINED 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. SUBMITTAL MATERIAL SHALL INCLUDE SKETCHES, CALCULATIONS, AND OTHER DATA REQUIRED BY THE ENGINEER.
- 5. SIGN ASSEMBLY LOCATIONS SHOWN ON THE PLANS WHICH ARE IN CONFLICT WITH LIGHTING, UTILITIES, DRIVEWAYS, WHEELCHAIR RAMPS, OR OTHER PHYSICAL BARRIERS MAY BE ADJUSTED SLIGHTLY AS DIRECTED BY THE ENGINEER.
- 6. THE FIRST TWO WARNING SIGNS, EACH SIDE, SHALL HAVE AN 18"x18" (MIN) ORANGE FLAG AND A TYPE B LIGHT ATTACHED AND OPERATING AT ALL TIMES.
- 7. ALL SIGNS SHALL BE POST MOUNTED AS REQUIRED BY THE FDOT STANDARD INDEX.
- 8. THE ALTERATION OF TRAFFIC TRAVEL WAYS TO CREATE A WORK ZONE SHALL NOT COMMENCE UNTIL ALL LABOR AND MATERIAL ARE AVAILABLE FOR THE CONSTRUCTION IN THAT ZONE.
- 9. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 10. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHT-TIME HOURS WITHOUT EXPRESS PERMISSION OF THE CITY OF POMPANO BEACH PUBLIC WORKS DEPARTMENT.
- 11. THE CONTRACTOR SHALL ADHERE TO LIMITED WORK HOURS AS ESTABLISHED BY THE CITY OF POMPANO BEACH. THE HOURS THAT ARE ALLOWABLE FOR WORK OPERATIONS WILL BE ESTABLISHED AT THE PRE-BID MEETING.

VIII. PROJECT PHASING

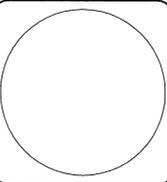
- 1. ONE BOAT RAMP AND TWO ROWS OF PARKING MUST REMAIN OPEN TO TRAFFIC AT ALL TIMES.
- 2. THE CONTRACTOR MUST MAINTAIN ACCESS TO THE GENERAL PARKING AREA THROUGHOUT THE CONSTRUCTION DURATION. HOWEVER, SPECIFIC AREAS CAN BE SHUT DURING CONSTRUCTION AS NEEDED. THE CONTRACTOR SHALL SUBMIT A PHASING PLAN FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- 3. THE CONTRACTOR SHALL PHASE THE DEMOLITION AND RECONSTRUCTION WORK TO LIMIT THE DURATION OF TIME THAT INDIVIDUAL SECTIONS OF SIDEWALK ARE OUT OF SERVICE. DEMOLITION SHALL BE LIMITED TO THE AMOUNT OF NEW CONSTRUCTION THAT CAN BE REPLACED WITHIN A MAXIMUM OF TWO WEEKS.



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ALSDORF PARK  
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JOB NUMBER

1628-005

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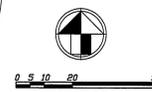
08-04-06 Staff Comments

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C-6



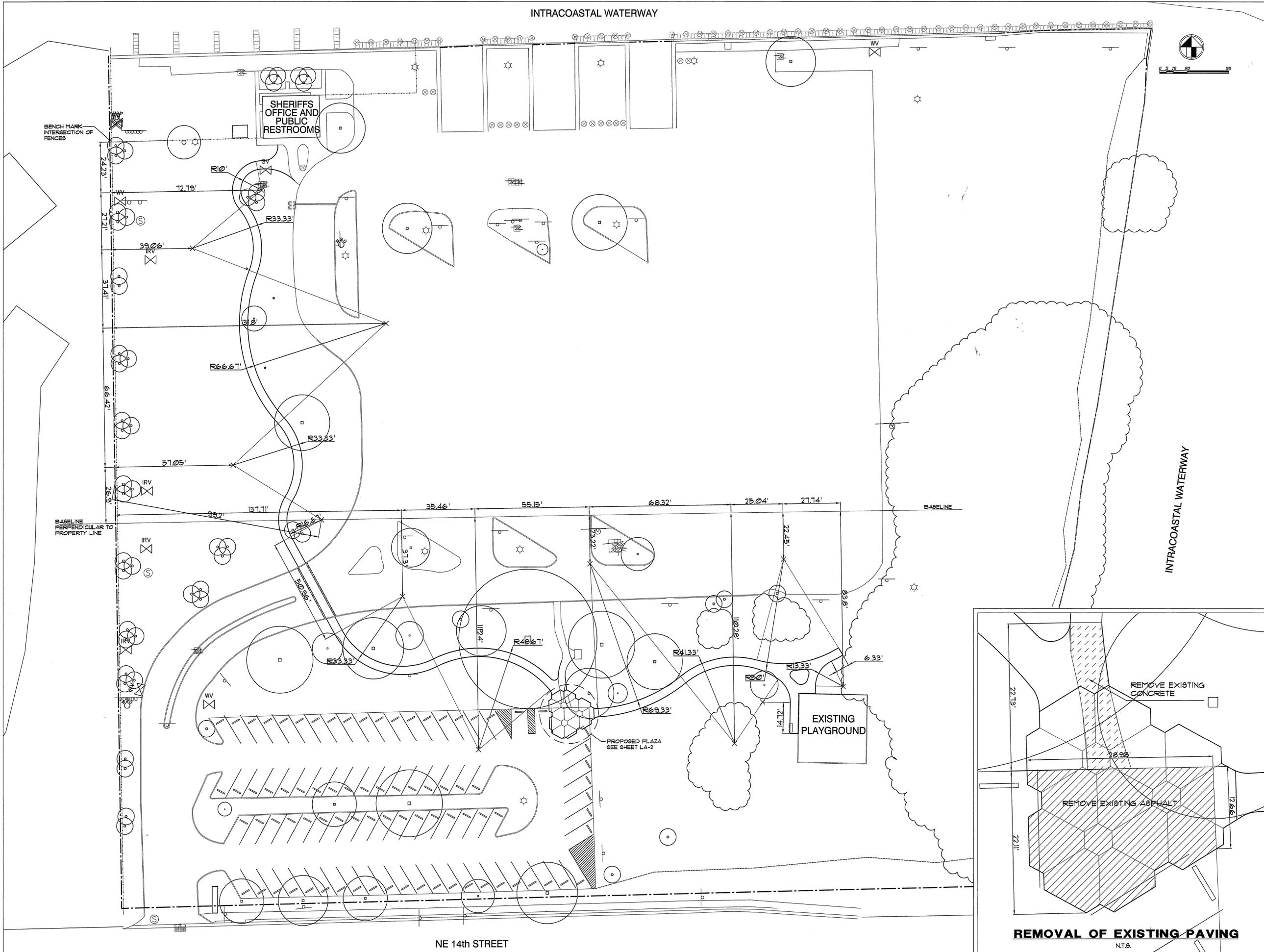
BENCH MARK  
INTERSECTION OF  
FENCES

SHERIFFS  
OFFICE AND  
PUBLIC  
RESTROOMS

BASELINE  
PERPENDICULAR  
TO  
PROPERTY LINE

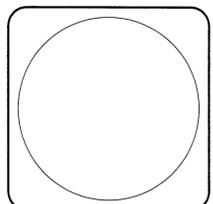
INTRACOASTAL WATERWAY

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JOB NUMBER  
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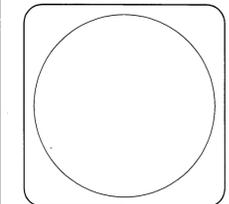
SHEET TITLE

TRAIL LAYOUT  
PLAN

SHEET NUMBER

LA-1

**REMOVAL OF EXISTING PAVING**  
N.T.S.



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SHEET NUMBER	LA-2

