
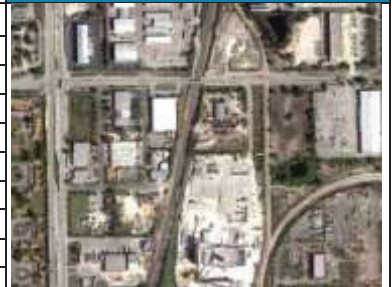
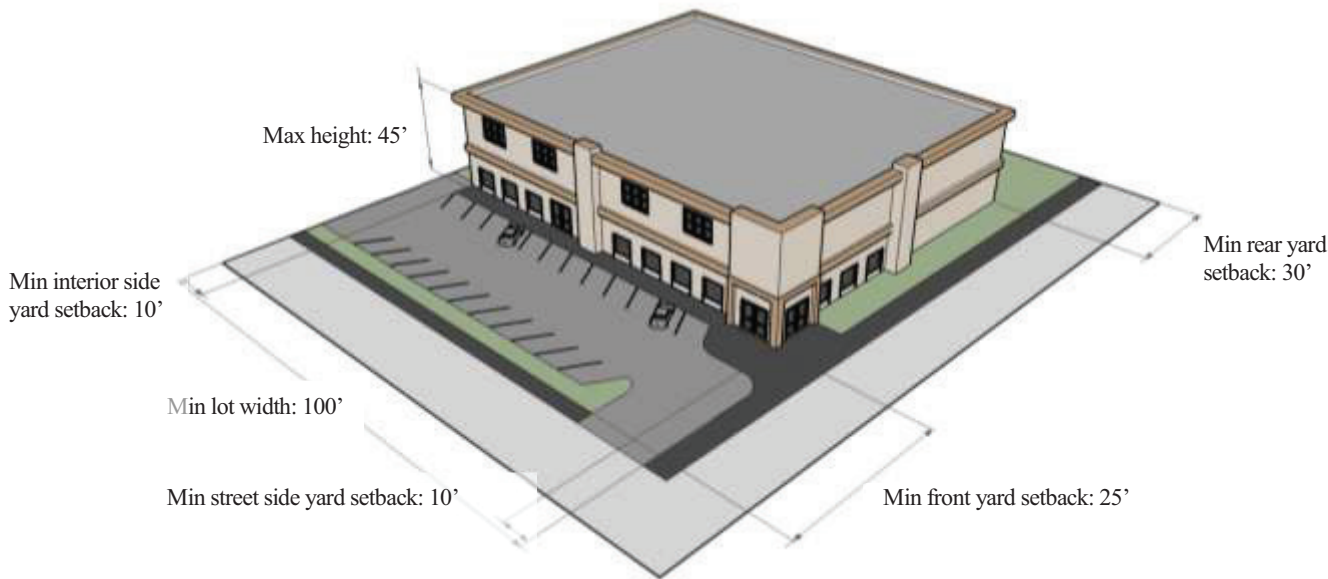


Article 3: Zoning Districts



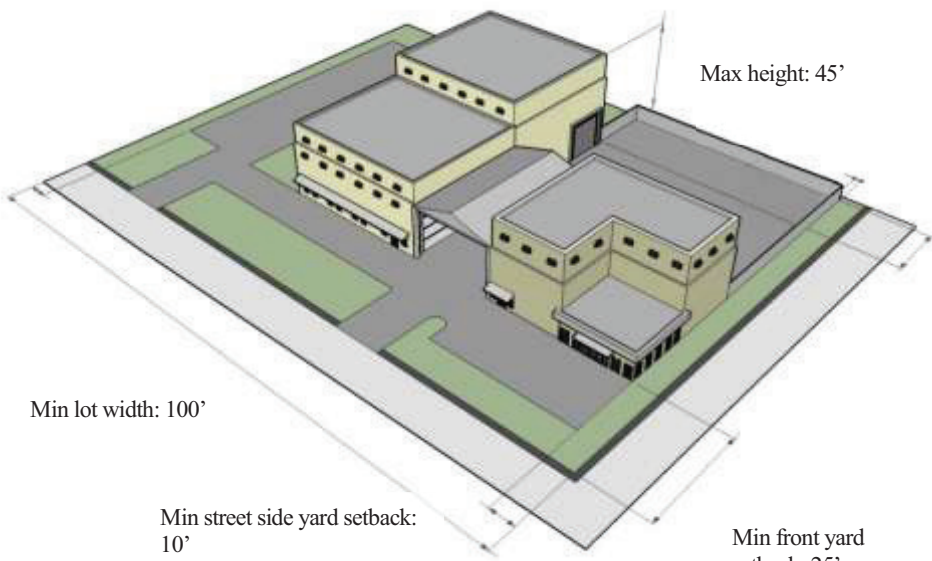
Part 4 Industrial Base Zoning Districts

Section 155.3402 General Industrial (I-1)

155.3402. GENERAL INDUSTRIAL (I-1)

A. PURPOSE		TYPICAL BUILDING TYPE
The General Industrial (I-1) district is established and intended to accommodate a wide range of light and moderate manufacturing, assembly, fabrication, processing, distribution, warehousing, research and development, and other industrial uses—but not heavy or hazardous manufacturing processes. The district may also include some uses that are ancillary to industrial development (e.g., vocational schools, business support services) or provide convenience services to industrial employees (e.g., child care facilities, gasoline filling stations, banks), as well as some uses that may be inappropriate in residential or commercial districts (e.g., animal shelter, kennel, sport shooting range).		
B. USE STANDARDS		
See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.		
C. INTENSITY AND DIMENSIONAL STANDARDS ¹		TYPICAL LOT PATTERN
Lot area, minimum (sq ft)	10,000	
Lot width, minimum (ft)	100	
Density, maximum (du/ac)	n/a	
Lot coverage, maximum (% of lot area)	65	
Pervious area, minimum (% of lot area)	20	
Height, maximum (ft)	45	
Front yard setback, minimum (ft)	25	
Street side yard setback, minimum (ft)	10	
Setback from a waterway or canal, minimum (ft)	15	
Interior side yard setback, minimum (ft)	10	
Rear yard setback, minimum (ft)	30 ²	
Dimensional Standards for Accessory Structures		See Accessory Use-Specific standards in Article 4: Part 3.
NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]		
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .		
2. If adjacent to a railroad siding, reduced to 8 ft from the centerline of the siding.		
TYPICAL DEVELOPMENT CONFIGURATION		
		

155.3403. SPECIAL INDUSTRIAL (I-1X)



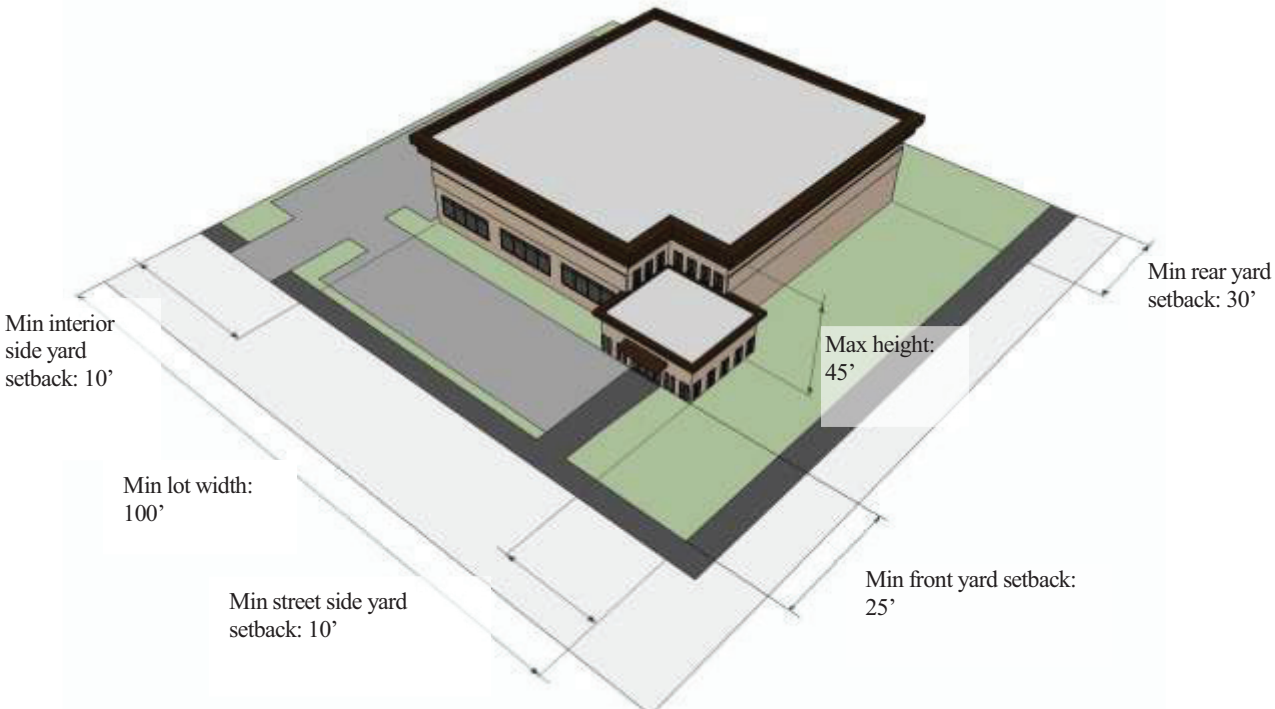
A. PURPOSE		TYPICAL BUILDING TYPE
The Special Industrial (I-IX) district is established and intended to accommodate those uses characterized primarily by outdoor storage of materials or equipment, outdoor manufacturing processes, and similar industrial uses that are inappropriate near residential areas and arterial streets. The district may also include some uses that are ancillary to industrial development (e.g., vocational schools) or provide convenience services to industrial employees (e.g., child care facilities, gasoline filling stations, banks), as well as some uses that may be inappropriate in residential or commercial districts (e.g., animal shelter, kennel, sport shooting range, sexually oriented businesses).		
B. USE STANDARDS		
See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.		
C. INTENSITY AND DIMENSIONAL STANDARDS ¹		TYPICAL LOT PATTERN
Lot area, minimum (sq ft)	10,000	
Lot width, minimum (ft)	100	
Density, maximum (du/ac)	n/a	
Lot coverage, maximum (% of lot area)	65	
Pervious area, minimum (% of lot area)	20	
Height, maximum (ft)	45	
Front yard setback, minimum (ft)	25	
Street side yard setback, minimum (ft)	10	
Setback from a waterway or canal, minimum (ft)	15	
Interior side yard setback, minimum (ft)	10	
Rear yard setback, minimum (ft)	30 ²	
Dimensional Standards for Accessory Structures		See Accessory Use-Specific standards in Article 4: Part 3.
NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]		
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .		
2. If adjacent to a railroad siding, reduced to 8 ft from the centerline of the siding.		
TYPICAL DEVELOPMENT CONFIGURATION		
		

Article 3: Zoning Districts



Part 4 Industrial Base Zoning Districts

Section 155.3404 Office Industrial Park (OIP)

155.3404. OFFICE INDUSTRIAL PARK (OIP)

A. PURPOSE		TYPICAL BUILDING TYPE
The Office Industrial Park (OIP) district is established and intended to accommodate large-scale office and industrial park complexes under unified ownership and control that contribute to the local economy, improve the city’s tax base, and provide new jobs, while minimizing adverse traffic impacts on nearby streets and other impacts on nearby areas.		
B. USE STANDARDS		
See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.		
C. INTENSITY AND DIMENSIONAL STANDARDS ¹		TYPICAL LOT PATTERN
Lot area, minimum (sq ft)	10,000	
Lot width, minimum (ft)	100	
Density, maximum (du/ac)	n/a	
Lot coverage, maximum (% of lot area)	65	
Pervious area, minimum (% of lot area)	20	
Height, maximum (ft)	45	
Front yard setback, minimum (ft)	25	
Street side yard setback, minimum (ft)	10	
Setback from a waterway or canal, minimum (ft)	15	
Interior side yard setback, minimum (ft)	10	
Rear yard setback, minimum (ft)	30 ²	
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.	
NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]		
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .		
2. If adjacent to a railroad siding, reduced to 8 ft from the centerline of the siding.		
TYPICAL DEVELOPMENT CONFIGURATION		
		

155.3405. MARINA INDUSTRIAL (M-2)

A. PURPOSE		TYPICAL BUILDING TYPE
The Marina Industrial (M-2) district is established and intended to accommodate commercial and recreational marinas and associated docking facilities, boat and marine sales, restaurants, yacht clubs, and boat dry storage—as well as working waterfront uses such as barge docking facilities, boat towing uses, boat repair and servicing, and boat manufacturing.		
B. USE STANDARDS		
See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.		
C. INTENSITY AND DIMENSIONAL STANDARDS ¹		
Lot area, minimum (sq ft)	10,000	
Lot width, minimum (ft)	100	
Density, maximum (du/ac)	n/a	
Lot coverage, maximum (% of lot area)	60	
Pervious area, minimum (% of lot area)	20	
Height, maximum (ft)	40	
Front yard setback, minimum (ft)	0	
Street side yard setback, minimum (ft)	0	
Setback from a waterway or canal, minimum (ft)	10	
Interior side yard setback, minimum (ft)	0	
Rear yard setback, minimum (ft)	10	
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.	
NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]		
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .		
TYPICAL DEVELOPMENT CONFIGURATION		
