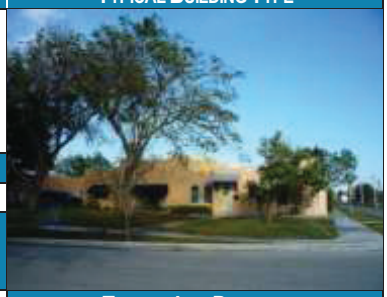
155.3202. SINGLE-FAMILY RESIDENCE 1 (RS-1)

A. Purpose

The Single-Family Residence 1 (RS-1) District is established and intended to accommodate primarily single-family dwellings at low densities on lots greater than 12,000 square feet in area. The district also accommodates accessory dwelling units as well as limited nonresidential uses usually found in urban single-family neighborhoods, generally as Special Exceptions.

Typical Building Type



B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

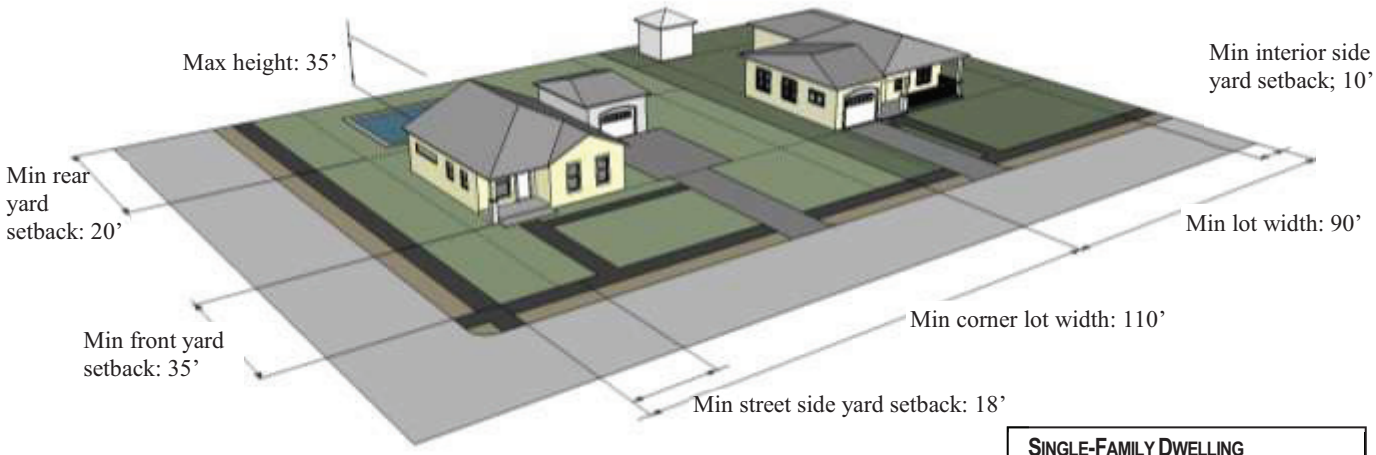
C. Intensity and Dimensional Standards [1]

Lot area, minimum (sq ft)	12,000
Lot width, minimum (ft)	90 [2]
Density, maximum (du/ac)	See Comprehensive Plan [3]
Floor area per dwelling unit, minimum (sq ft)	1,500 for up to 3 bedrooms, plus 100 per additional bedroom
Lot coverage, maximum (% of lot area)	30
Pervious area, minimum (% of lot area)	30
Height, maximum (ft)	35
Front yard setback, minimum (ft)	35
Street side yard setback, minimum (ft)	18
Setback from a waterway or canal, minimum (ft)	25
Interior side yard setback, minimum (ft)	10
Rear yard setback, minimum (ft)	20
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.

Typical Lot Pattern

NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]
1. See measurement rules and allowed exceptions/variations in Article 9: Part 4 .
2. 110 ft for a corner lot.
3. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.

Typical Development Configuration



Single-Family Dwelling
Min lot area = 12,000 sq ft
Min floor area = 1,500 sq ft
Max lot coverage = 30%

155.3203. SINGLE-FAMILY RESIDENCE 2 (RS-2)

A. Purpose

The Single-Family Residence 2 (RS-2) district is established and intended to accommodate primarily single-family dwellings at moderate densities on lots greater than 7,000 square feet in area. The district also accommodates accessory dwelling units as well as limited nonresidential uses usually found in urban single-family neighborhoods (e.g., parks, places of worship, golf courses), generally as Special Exceptions.

Typical Building Type

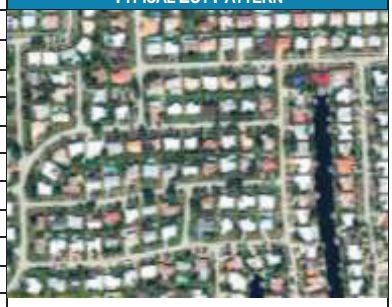
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. Intensity and Dimensional Standards [1]

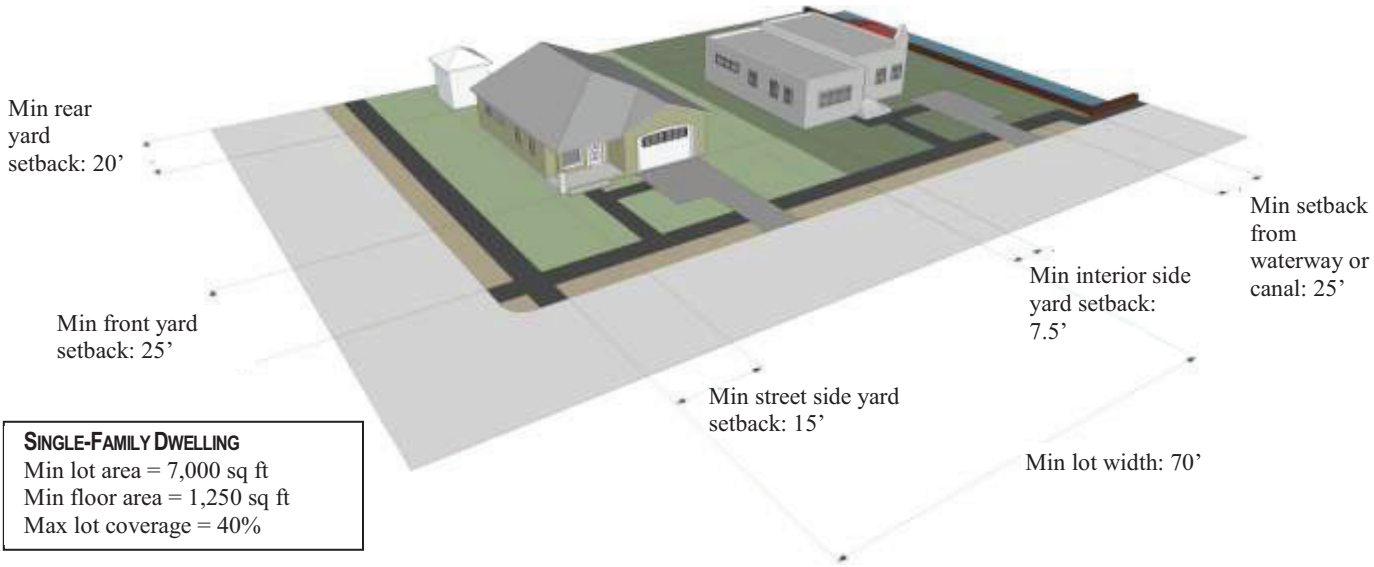
Lot area, minimum (sq ft)	7,000
Lot width, minimum (ft)	70
Density, maximum (du/ac)	See Comprehensive Plan [2]
Floor area per dwelling unit, minimum (sq ft)	1,250
Lot coverage, maximum (% of lot area)	40
Pervious area, minimum (% of lot area)	30
Height, maximum (ft)	35 [5]
Front yard setback, minimum (ft)	25
Street side yard setback, minimum (ft)	15
Setback from a waterway or canal, minimum (ft)	25 [3]
Interior side yard setback, minimum (ft)	7.5
Rear yard setback, minimum (ft)	20 [5]
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.

Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
3. On existing lot where rear yard abuts waterway or canal, setback equals the existing rear yard depth if it is between 15 ft and 25 ft.
4. On existing lot, setback equals the existing rear yard depth if it is between 15 ft and 20 ft.
5. The maximum height may be increased to 40 feet where the lowest structural member of a building must be 14.5 feet or more above National Geodetic Vertical Datum of 1929 (N.G.V.D)

Typical Development Configuration



Single-Family Dwelling
Min lot area = 7,000 sq ft
Min floor area = 1,250 sq ft
Max lot coverage = 40%

155.3204. SINGLE-FAMILY RESIDENCE 3 (RS-3)

A. Purpose

The Single-Family Residence 3 (RS-3) district is established and intended to accommodate primarily single-family dwellings at moderate densities on lots greater than 6,000 square feet in area. The district also accommodates accessory dwelling units as well as limited nonresidential uses usually found in urban single-family neighborhoods,, generally as Special Exceptions.

Typical Building Type

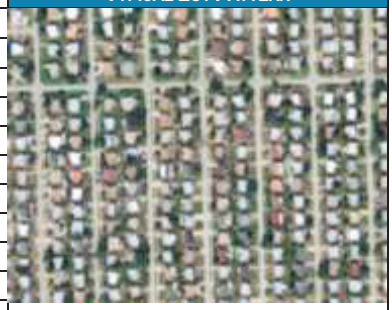
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. Intensity and Dimensional Standards[1]

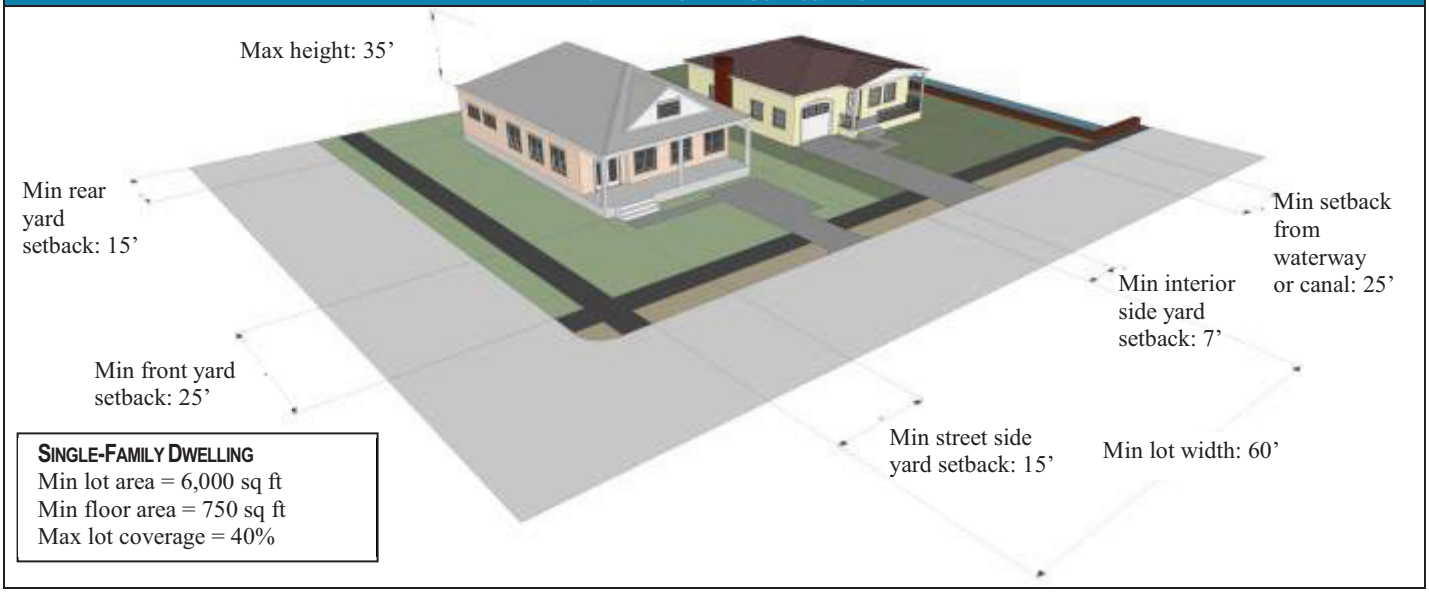
Lot area, minimum (sq ft)	6,000
Lot width, minimum (ft)	60
Density, maximum (du/ac)	See Comprehensive Plan[2]
Floor area per dwelling unit, minimum (sq ft)	750
Lot coverage, maximum (% of lot area)	40
Pervious area, minimum (% of lot area)	30
Height, maximum (ft)	35
Front yard setback, minimum (ft)	25
Street side yard setback, minimum (ft)	15
Setback from a waterway or canal, minimum (ft)	25
Interior side yard setback, minimum (ft)	7
Rear yard setback, minimum (ft)	15
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.

Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.

Typical Development Configuration



Single-Family Dwelling
Min lot area = 6,000 sq ft
Min floor area = 750 sq ft
Max lot coverage = 40%

155.3205. SINGLE-FAMILY RESIDENCE 4 (RS-4)

A. Purpose

The Single-Family Residence 4 (RS-4) district is established and intended to accommodate primarily single-family dwellings at moderate densities on lots greater than 5,000 square feet in area. The district also accommodates accessory dwelling units and zero-lot-line development, as well as limited nonresidential uses usually found in urban single-family neighborhoods, generally as Special Exceptions.

Typical Building Type

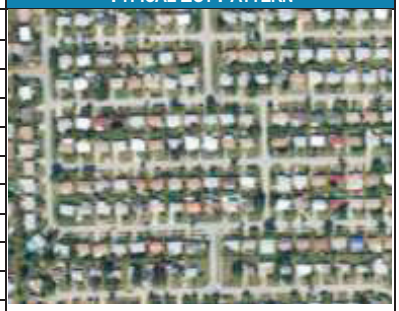
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. Intensity and Dimensional Standards[1]

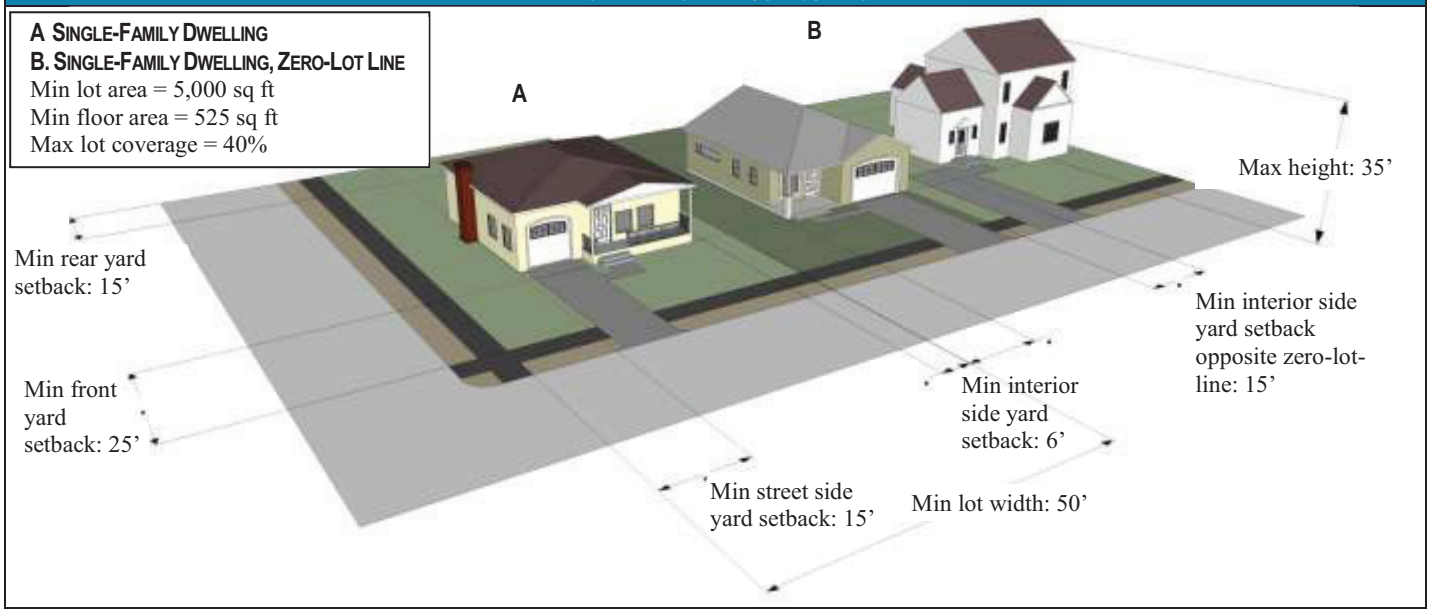
Lot area, minimum (sq ft)	5,000
Lot width, minimum (ft)	50
Density, maximum (du/ac)	See Comprehensive Plan [2]
Floor area per dwelling unit, minimum (sq ft)	675
Lot coverage, maximum (% of lot area)	40
Pervious area, minimum (% of lot area)	30
Height, maximum (ft)	35
Front yard setback, minimum (ft)	25
Street side yard setback, minimum (ft)	15
Setback from a waterway or canal, minimum (ft)	25
Interior side yard setback, minimum (ft)	6[3]
Rear yard setback, minimum (ft)	15
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.

Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4
2. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
3. For developments with zero-lot-line single family dwellings, 0 ft along the zero lot line and 15 ft for the opposite interior side lot line.

Typical Development Configuration



155.3206. SINGLE-FAMILY RESIDENCE LESUREVILLE (RS-L)

A. Purpose

The Single-Family Residence Leisureville (RS-L) district is established and intended to accommodate primarily cluster developments containing single-family dwellings at a density of one dwelling per 5,000 square feet of site area, and where the site area is held in common by all owners of dwellings in the development. The district also accommodates accessory dwelling units and development-serving recreation facilities and community centers, as well places as of worship (as a Special Exception).

Typical Building Type

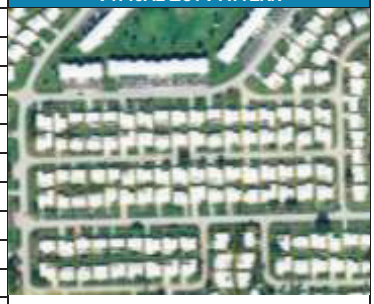
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

B. Intensity and Dimensional Standards [1]

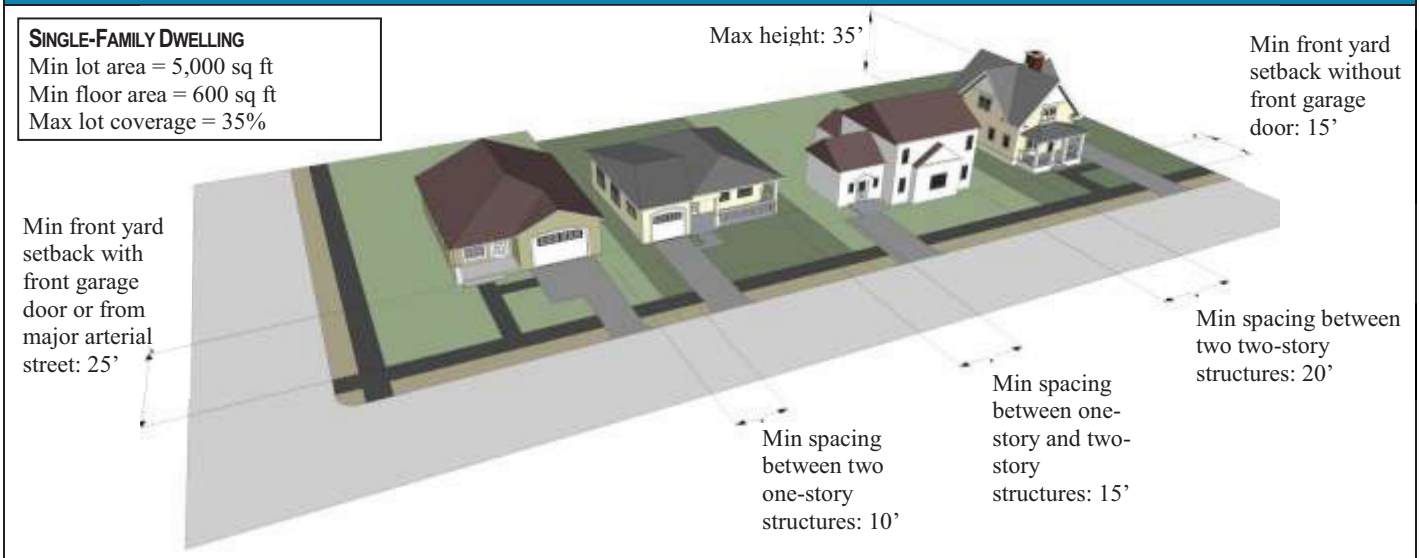
Gross site area per dwelling, minimum (sq ft)	5,000
Lot width. minimum (ft)	n/a
Density, maximum (du/ac)	See Comprehensive Plan [2]
Floor area per dwelling unit, minimum (sq ft)	600
Lot coverage, maximum (% of lot area)	35
Pervious area, minimum (% of lot area)	30
Height, maximum (ft)	35
Setback from street, minimum (ft)	15 [3]
Setback from another zoning district, minimum (ft)	15
Setback from a waterway or canal, minimum (ft)	25
Spacing between principal structures, minimum (ft)	10 [4]
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.

Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
3. 25 ft from a major arterial street and for the garage door side of a dwelling (from any street).
4. Increased to 15 ft between a one-story structure and a two-story structure and 20 ft between structures with 2 or more stories each.

Typical Development Configuration



155.3207. TWO-FAMILY RESIDENCE (RD-1)

A. Purpose

The Two-Family Residence (RD-1) district is established and intended to accommodate primarily single-family dwellings and two-family dwellings at moderate densities. The district also accommodates accessory dwelling units (with single-family dwellings) as well as limited nonresidential uses usually found in urban single-family neighborhoods (e.g., parks, places of worship, golf courses), generally as Special Exceptions.

Typical Building Type

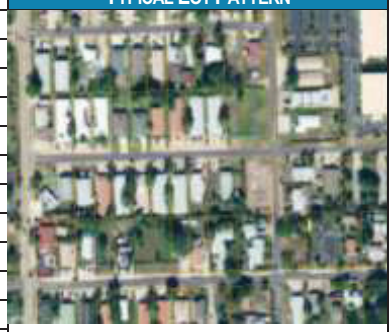
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. Intensity and Dimensional Standards[1]

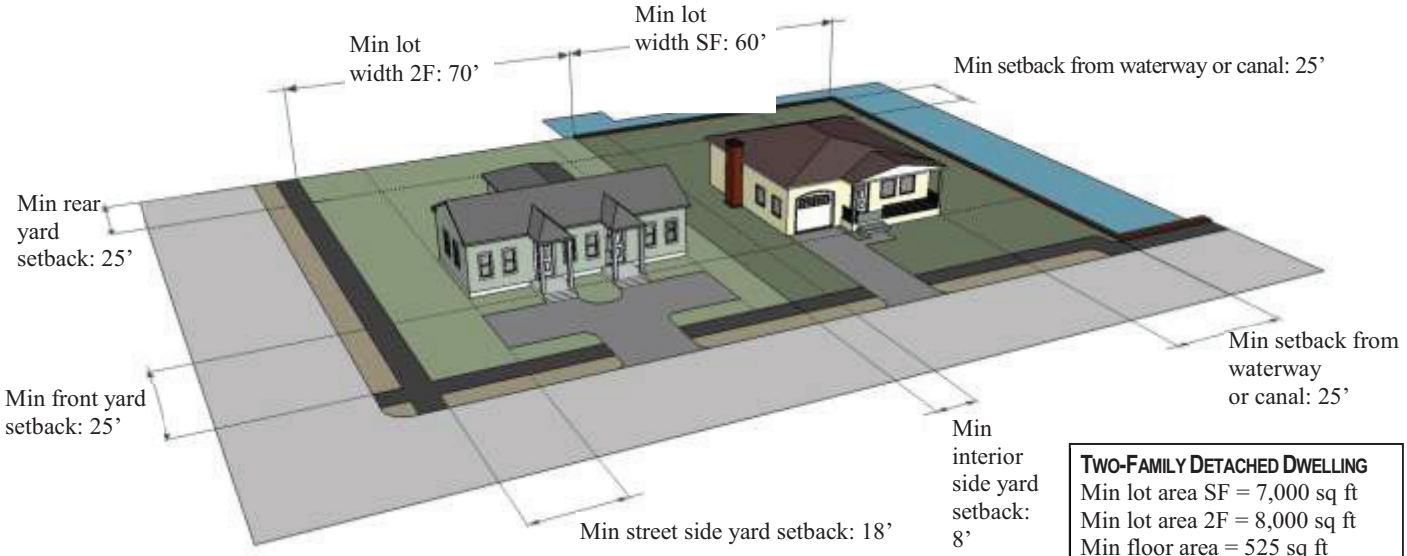
Lot area, minimum (sq ft)	SF: 7,000	2F: 8,000
Lot width, minimum (ft)	SF: 60	2F: 70
Density, maximum (du/ac)	12 [2]	
Floor area per dwelling unit, minimum (sq ft)	750	
Lot coverage, maximum (% of lot area)	35	
Pervious area, minimum (% of lot area)	30	
Height, maximum (ft)	35	
Front yard setback, minimum (ft)	25	
Street side yard setback, minimum (ft)	18	
Setback for a waterway or canal, minimum (ft)	25	
Interior side yard setback, minimum (ft)	8	
Rear yard setback, minimum (ft)	15	
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50	
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.	

Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre; SF = single-family dwelling; 2F = two-family dwelling]
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.

Typical Development Configuration



Two-Family Detached Dwelling
Min lot area SF = 7,000 sq ft
Min lot area 2F = 8,000 sq ft
Min floor area = 525 sq ft
Max lot coverage = 35%

155.3208. MULTIPLE-FAMILY RESIDENCE 7 (RM-7)

A. Purpose

The Multiple-Family Residence 7 (RM-7) district is established and intended to accommodate primarily multifamily dwellings (including townhouse development) at low to moderate densities. The district also accommodates single-family and two-family dwellings, zero-lot-line development, community residential homes, assisted living facilities, and continuing care retirement communities. Limited nonresidential uses are allowed as Special Exceptions.

Typical Building Type

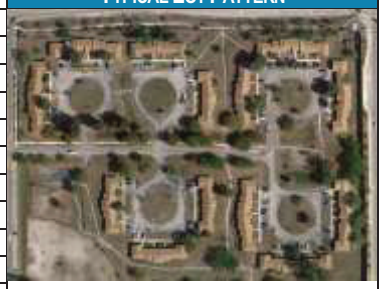
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. Intensity and Dimensional Standards[1]

Lot area, minimum (sq ft)	7,000 [2]	
Lot width, minimum (ft)	60 [2]	
Density, maximum (du/ac)	7 [2,3]	
Floor area per dwelling unit, minimum (sq ft)	SF	950
	2F	750
	MF	Efficiency units: 500
		Other units: 650 + 100 per BR>1
Lot coverage, maximum (% of lot area)	60 [2]	
Pervious area, minimum (% of lot area)	25 [2]	
Height, maximum (ft)	35	
Front yard setback, minimum (ft)	25	
Street side yard setback, minimum (ft)	8 [2,4]	
Setback from a waterway or canal, minimum (ft)	25	
Setback from a dune vegetation line, minimum (ft)	25	
Interior side yard setback, minimum (ft)	8 [2,5]	
Rear yard setback, minimum (ft)	10	
Spacing between principal structures, minimum (ft)	25	
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50 (for Single Family Dwellings only)	
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.	

Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre; SF = single-family dwelling; 2F = two-family dwelling; MF = multifamily dwelling; BR = bedroom]

1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.
3. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
4. Those portions of a structure extending above a height of 20 feet shall be set back an additional 1 ft for each 4 ft (or major fraction thereof) the height of the portion of the structure exceeds 20 ft.
5. For developments with zero-lot-line single family dwellings, 0 ft along the zero lot line and 15 ft for the opposite interior side lot line.

TYPICAL DEVELOPMENT CONFIGURATION

155.3209. MULTIPLE-FAMILY RESIDENCE 12 (RM-12)

A. Purpose

The Multiple-Family Residence 12 (RM-12) district is established and intended to accommodate primarily multifamily dwellings (including townhouse development) at moderate densities. The district also accommodates single-family and two-family dwellings, zero-lot-line development, community residential homes, assisted living facilities, and continuing care retirement communities. Limited neighborhood-serving nonresidential uses, as well as office buildings with a floor area of 2,000 square feet or less, are allowed as Special Exceptions.

Typical Building Type

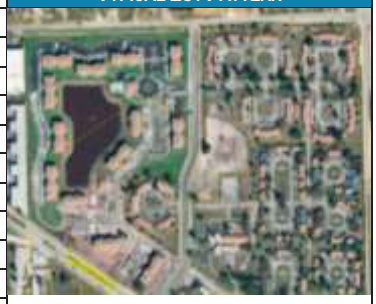
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. Intensity and Dimensional Standards[1]

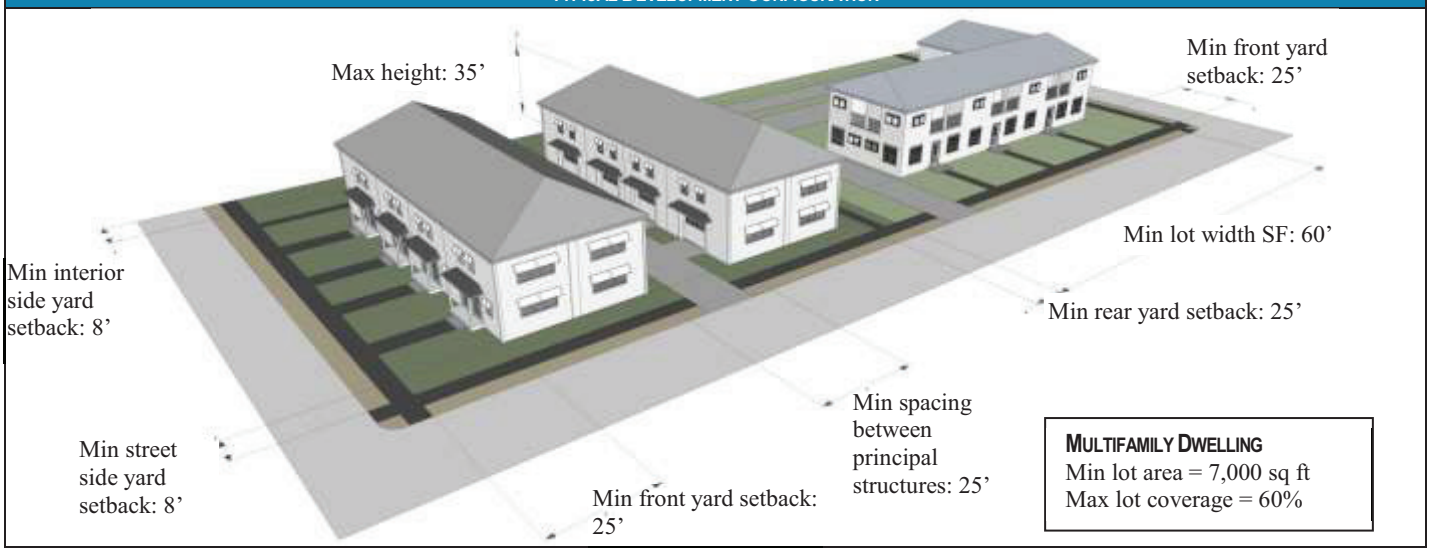
Lot area, minimum (sq ft)	7,000[2]	
Lot width, minimum (ft)	60[2]	
Density, maximum (du/ac)	12[2,3]	
Floor area per dwelling unit, minimum (sq ft)	SF	950
	2F	750
	MF	Efficiency units: 500
		Other units: 650 + 100 per BR>1
Lot coverage, maximum (% of lot area)	60[2]	
Pervious area, minimum (% of lot area)	25[2]	
Height, maximum (ft)	35	
Front yard setback, minimum (ft)	25	
Street side yard setback, minimum (ft)	8[2,4]	
Setback from a waterway or canal, minimum (ft)	25	
Setback from a dune vegetation line, minimum (ft)	25	
Interior side yard setback, minimum (ft)	8[2,4,5]	
Rear yard setback, minimum (ft)	10[4]	
Spacing between principal structures, minimum (ft)	25	
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50 (for Single Family Dwellings only)	
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.	

Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre; SF = single-family dwelling; 2F = two-family dwelling; MF = multifamily dwelling; BR = bedroom]
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.
3. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
4. Those portions of a structure extending above a height of 20 feet shall be set back an additional 1 ft for each 4 ft (or major fraction thereof) the height of the portion of the structure exceeds 20 ft.
5. For developments with zero-lot-line single family dwellings, 0 ft along the zero lot line and 15 ft for the opposite interior side lot line.

TYPICAL DEVELOPMENT CONFIGURATION

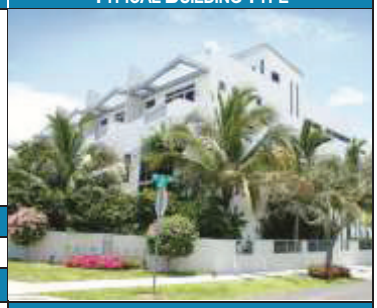


155.3210. MULTIPLE-FAMILY RESIDENCE 20 (RM-20)

A. Purpose

The Multiple-Family Residence 20 (RM-20) district is established and intended to accommodate primarily multifamily dwellings (including townhouse development) at moderate densities. The district also accommodates single-family and two-family dwellings, zero-lot-line development, community residential homes, assisted living facilities, and continuing care retirement communities. Limited neighborhood - serving nonresidential uses, as well as office buildings, financial institutions, hotels/motels, and apartment hotels, are allowed as Special Exceptions.

Typical Building Type



B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. Intensity and Dimensional Standards[1]

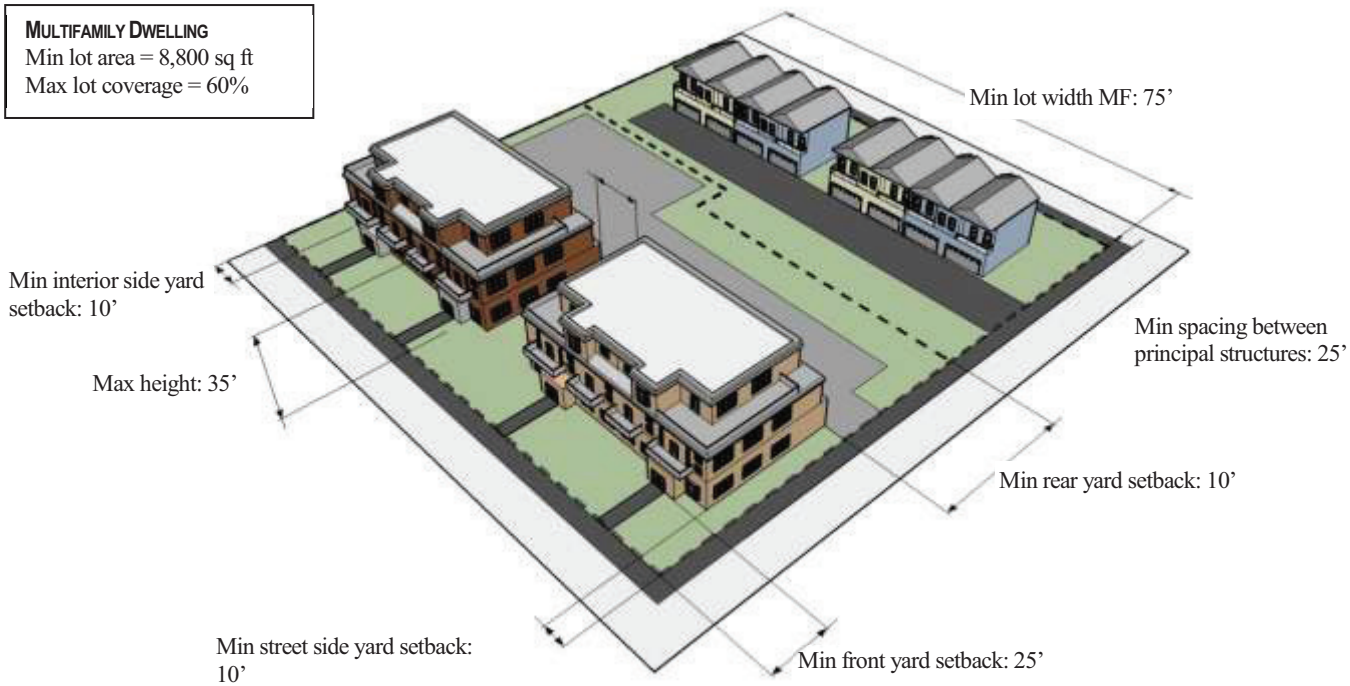
Lot area, minimum (sq ft)	SF: 7,000	2F: 8,000	MF: 8,800 [2]
Lot width, minimum (ft)	SF: 60	2F: 70	MF: 75 [2]
Density, maximum (du/ac)	20 [2,3]		
Floor area per dwelling unit, minimum (sq ft)	SF	950	
	2F	750	
	MF	Efficiency units: 500	
		Other units: 650 + 100 per BR>1	
Lot coverage, maximum (% of lot area)	60 [2]		
Pervious area, minimum (% of lot area)	25 [2]		
Height, maximum (ft)	35		
Front yard setback, minimum (ft)	25		
Street side yard setback, minimum (ft)	10 [2,4]		
Setback from a waterway or canal, minimum (ft)	25		
Setback from a dune vegetation line, minimum (ft)	25		
Interior side yard setback, minimum (ft)	10 [2,4,5]		
Rear yard setback, minimum (ft)	10 [4]		
Spacing between principal structures, minimum (ft)	25		
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50 (for Single Family Dwellings only)		
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.		

Typical Lot Pattern

NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre; SF = single-family dwelling; 2F = two-family dwelling; MF = multifamily dwelling; BR = bedroom]

1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.
3. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
4. Those portions of a structure extending above a height of 20 feet shall be set back an additional 1 ft for each 4 ft (or major fraction thereof) the height of the portion of the structure exceeds 20 ft.
5. For developments with zero-lot-line single family dwellings, 0 ft along the zero lot line and 15 ft for the opposite interior side lot line.

TYPICAL DEVELOPMENT CONFIGURATION

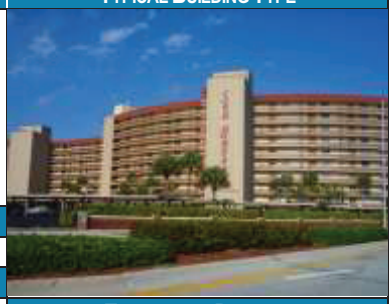


155.3211. MULTIPLE-FAMILY RESIDENCE 30 (RM-30)

A. Purpose

The Multiple-Family Residence 30 (RM-30) district is established and intended to accommodate primarily multifamily dwellings (including townhouse development) at moderately high densities. The district also accommodates single-family and two-family dwellings, zero-lot-line development, community residential homes, assisted living facilities, and continuing care retirement communities. Limited neighborhood-serving nonresidential uses, as well as office buildings, financial institutions, hotels/motels, and apartment hotels, are allowed as Special Exceptions

Typical Building Type



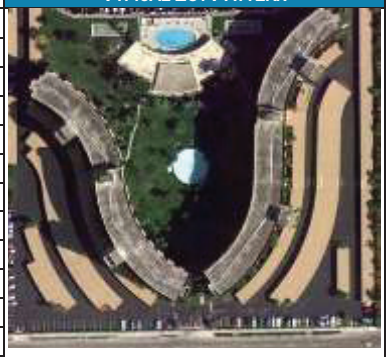
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. Intensity and Dimensional Standards [1]

Lot area, minimum (sq ft)	SF: 7,000	2F: 8,000	MF: 8,800 [2]
Lot width, minimum (ft)	SF: 60	2F: 70	MF: 75 [2]
Density, maximum (du/ac)	30 [2,3]		
Floor area per dwelling unit, minimum (sq ft)	SF	950	
	2F	750	
	MF	Efficiency units: 500	
		Other units: 650 + 100 per BR>1	
Lot coverage, maximum (% of lot area)	60 [2]		
Pervious area, minimum (% of lot area)	25 [2]		
Height, maximum (ft)	105 [4]		
Front yard setback, minimum (ft)	25		
Street side yard setback, minimum (ft)	10 [2,5]		
Setback from a waterway or canal, minimum (ft)	25		
Setback from a dune vegetation line, minimum (ft)	25		
Interior side yard setback, minimum (ft)	10 [2,5,6]		
Rear yard setback, minimum (ft)	10 [5]		
Spacing between principal structures, minimum (ft)	25		
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50 (for Single Family Dwellings only)		
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.		

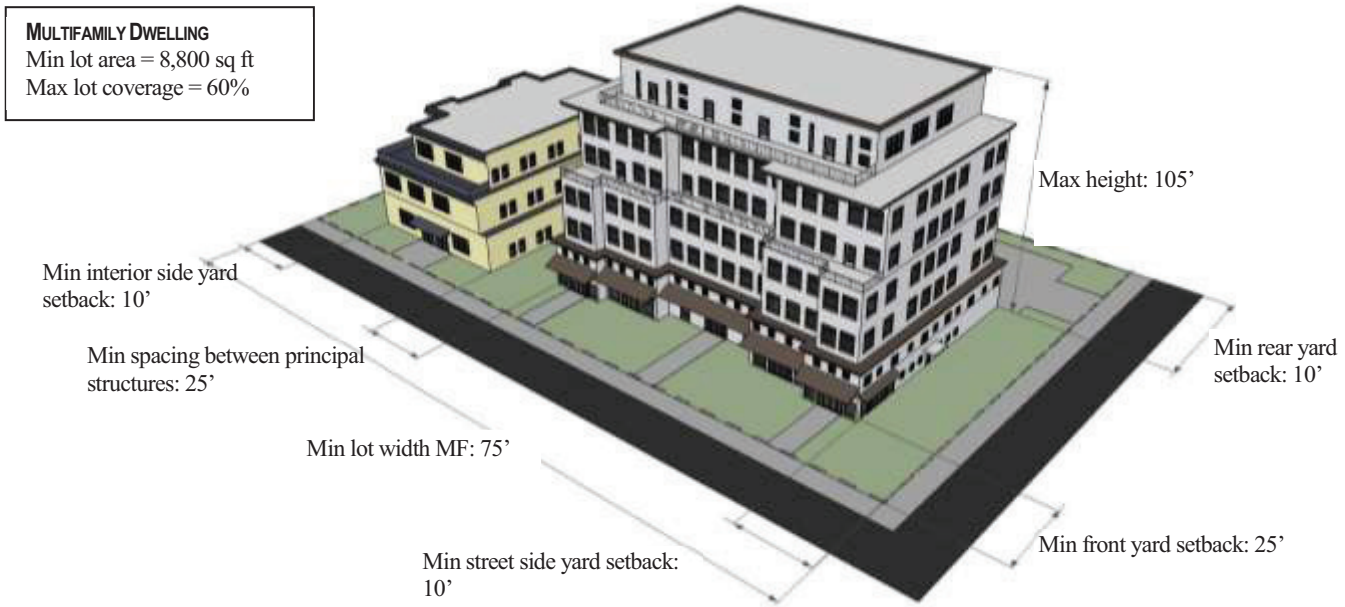
Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre; SF = single-family dwelling; 2F = two-family dwelling; MF = multifamily dwelling; BR = bedroom]

1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. For townhouse development, applies only to the development site as a whole; individual townhouse lots must have a minimum area of 1,800 sq ft and a minimum width of 18 ft.
3. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
4. Structures within the Air Park Overlay (APO) zoning district must also comply with the height limits in Section 155.3707.
5. Those portions of a structure extending above a height of 20 feet shall be set back an additional 1 ft for each 4 ft (or major fraction thereof) the height of the portion of the structure exceeds 20 ft.
6. For developments with zero-lot-line single family dwellings, 0 ft along the zero lot line and 15 ft for the opposite interior side lot line.

TYPICAL DEVELOPMENT CONFIGURATION



155.3212. MULTIPLE-FAMILY RESIDENCE 45 (RM-45)

A. Purpose

The Multiple-Family Residence 45 (RM-45) district is established and intended to accommodate primarily multifamily dwellings (including townhouse development) at high densities. The district also accommodates single-family and two-family dwellings, zero-lot-line development, community residential homes, assisted living facilities, and continuing care retirement communities. Limited neighborhood-serving nonresidential uses, as well as office buildings, financial institutions, hotels/motels, and apartment hotels, are allowed as Special Exceptions.

Typical Building Type

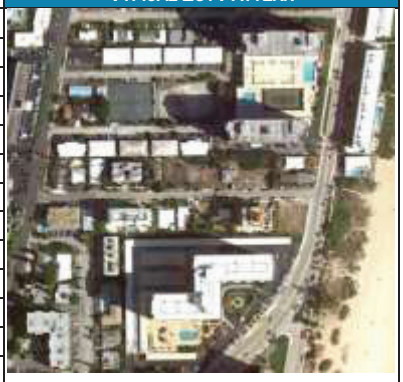
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. Intensity and Dimensional Standards[1]

Lot area, minimum (sq ft)	SF: 7,000	2F: 8,000	MF: 8,800 [2]
Lot width, minimum (ft)	SF: 60	2F: 70	MF: 75 [2]
Density, maximum (du/ac)	45 [2,3]		
Floor area per dwelling unit, minimum (sq ft)	SF	950	
	2F	750	
	MF	Efficiency units: 500	
		Other units: 650 + 100 per BR>1	
Lot coverage, maximum (% of lot area)	60 [2]		
Pervious area, minimum (% of lot area)	25 [2]		
Height, maximum (ft)	105 [4,5]		
Front yard setback, minimum (ft)	25		
Street side yard setback, minimum (ft)	10 [2,6]		
Setback from a waterway or canal, minimum (ft)	25		
Setback from a dune vegetation line, minimum (ft)	25		
Interior side yard setback, minimum (ft)	10 [2,6,7]		
Rear yard setback, minimum (ft)	10 [6]		
Spacing between principal structures, minimum (ft)	25		
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50 (for Single Family Dwellings only)		
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.		

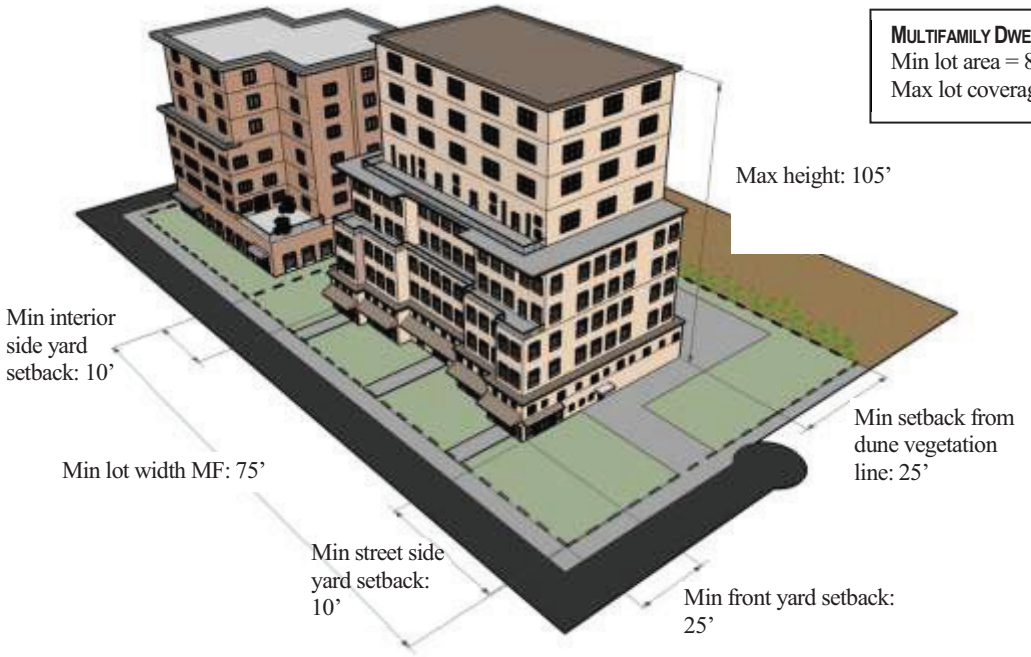
Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre; SF = single-family dwelling; 2F = two-family dwelling; MF = multifamily dwelling; BR = bedroom]

1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.
3. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
4. Structures within the Air Park Overlay (APO) zoning district must also comply with the height limits in Section 155.3707.
5. Not applicable within a Multiple-Family Residence45 High-Rise (RM-45 HR) Overlay district.
6. Those portions of a structure extending above a height of 20 feet shall be set back an additional 1 ft for each 4 ft (or major fraction thereof) the height of the portion of the structure exceeds 20 ft.
7. For developments with zero-lot-line single family dwellings, 0 ft along the zero lot line and 15 ft for the opposite interior side lot line.

TYPICAL DEVELOPMENT CONFIGURATION



155.3213. MOBILE HOME PARK (MH-12)

A. Purpose

The Mobile Home Park (MH-12) district is established and intended to accommodate mobile home parks that primarily function to provide spaces for individual mobile homes intended to be occupied as permanent living quarters. The district also accommodates recreational facilities and other accessory uses serving occupants of the mobile home park.

Typical Building Type

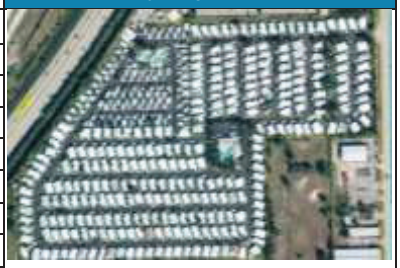
B. Use Standards

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

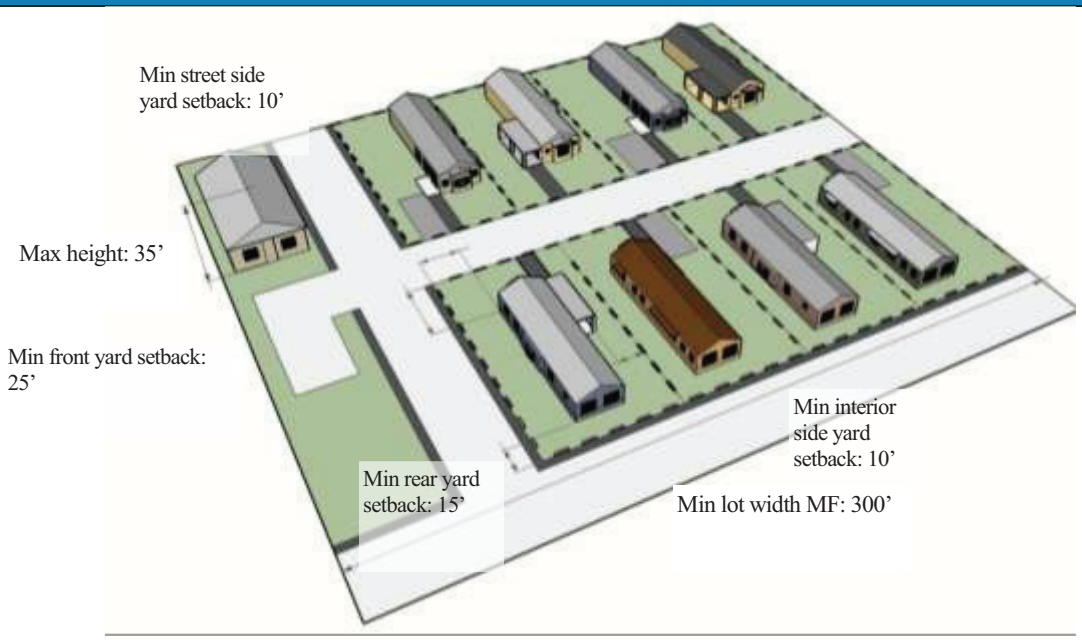
C. Intensity and Dimensional Standards[1]

Lot area, minimum (acres)	5
Lot width, minimum (ft)	300
Density, maximum (du/ac)	12 [2]
Height, maximum (ft)	12
Setback from a waterway or canal, minimum (ft)	25
Front yard setback per mobile home space, minimum (ft)	25 [3]
Street side yard setback per mobile home space, minimum (ft)	10 [3]
Interior side yard setback per mobile home space, minimum (ft)	10 [3]
Rear yard setback per mobile home space, minimum (ft)	15 [3]
Spacing between mobile homes, minimum (ft)	10 [3]
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.

Typical Lot Pattern



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .
2. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
3. If the mobile home park was zoned R-1T under former county zoning and consists of mobile home spaces that are individually owned or leased for terms of one year or more, the minimum front and street side yard setbacks are 6 ft, the interior side yard setback is 4 ft, the rear yard setback is 8 ft, and the interior side yard setback for roofed carports is 2 ft.
4. 25 ft between a mobile home and any accessory or service structure used in conjunction with the park.

Typical Development Configuration